

LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR SELF STORAGE FACILITY 15 CHESTER TURNPIKE MAP 109, LOT 028 ALLENSTOWN, NH 03275

OWNER:

A GROSSMAN SUNCOOK, LLC
ONE ADAMS PLACE
859 WILLARD STREET, SUITE 501
QUINCY, MA 02169
PHONE: 617.472.2000

APPLICANT:

201 HIGHLAND, LLC
679 FIRST NH TURNPIKE
NORTHWOOD, NH 03261
PHONE: 603.340.2541

CIVIL ENGINEER/LANDSCAPE ARCHITECT:

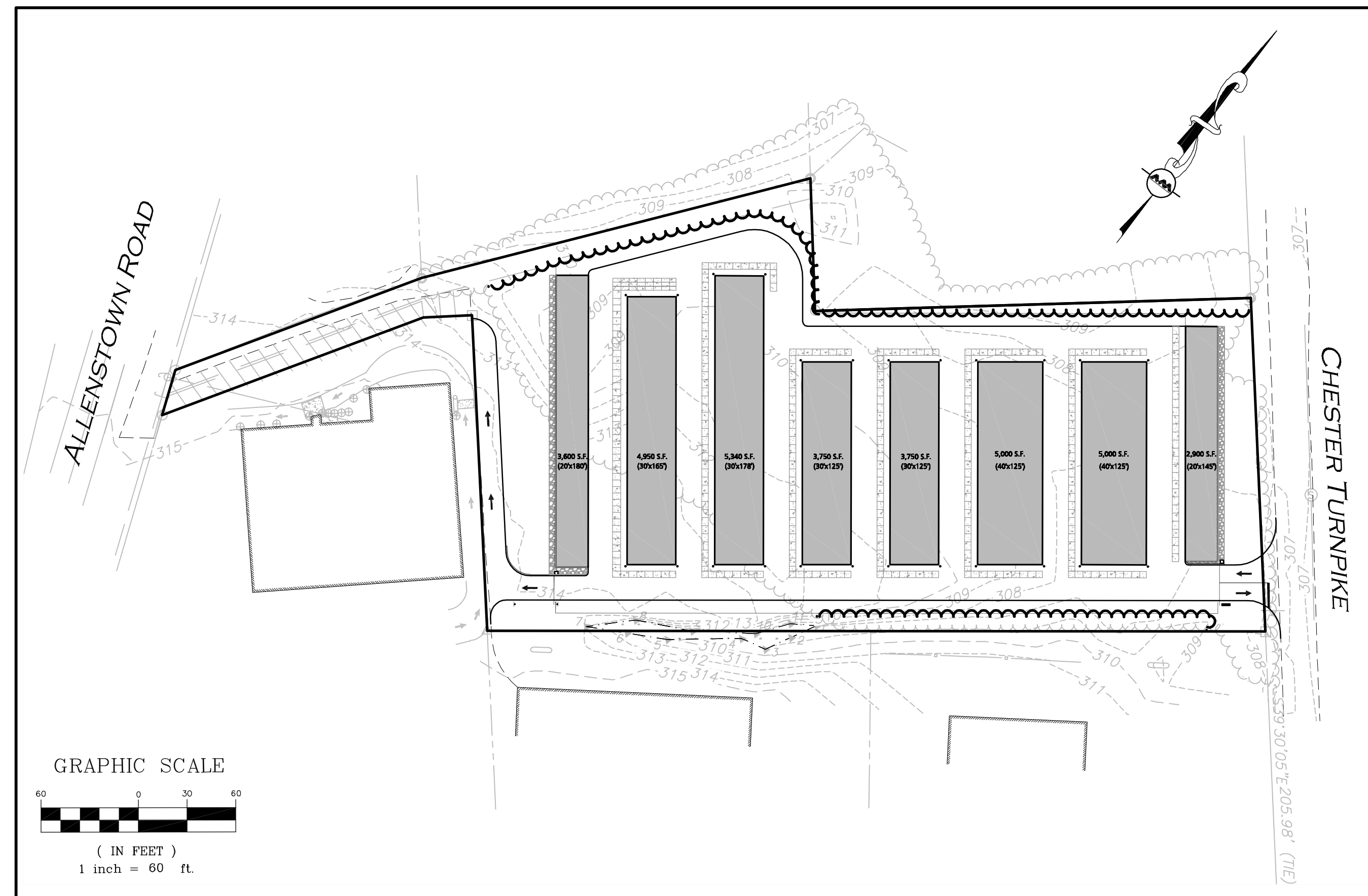
ALLEN & MAJOR ASSOC., INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
PHONE: 603.627.5500

SURVEYOR:

ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
PHONE: 603-627-5500

WETLAND/SOIL SCIENTIST:

TES ENVIRONMENTAL CONSULTANTS, LLC
1494 ROUTE 3A, UNIT 1
BOW, NEW HAMPSHIRE, 03304
PHONE: 603.856.8925



LIST OF DRAWINGS

DRAWING TITLE	SHEET	ISSUED	REV. 1	REV. 2
EXISTING CONDITIONS PLAN	V-1	04-04-18	-	-
LAYOUT & MATERIALS PLAN	C-1	04-04-18	05-01-18	05-23-18
GRADING, DRAINAGE PLAN	C-2	04-04-18	05-01-18	05-23-18
STORMWATER POLLUTION PREVENTION PLAN	C-3	04-04-18	05-01-18	05-23-18
STORMWATER POLLUTION PREVENTION NOTES	C-4	04-04-18	05-23-18	-
SITE LIGHTING PLAN	C-5	04-04-18	05-01-18	-
DETAILS	C-6	04-04-18	05-23-18	-
DETAILS	C-7	04-04-18	05-01-18	05-23-18
TRUCK TURNING PLAN - FIRE APPARATUS	C-8	04-04-18	05-01-18	05-23-18
LANDSCAPE PLAN	L-1	04-04-18	05-01-18	-
LANDSCAPE NOTES	L-2	04-04-18	-	-

THE TOWN OF ALLENSTOWN PLANNING BOARD

DATE OF APPROVAL: _____

CERTIFIED BY CHAIRMAN _____

DATE

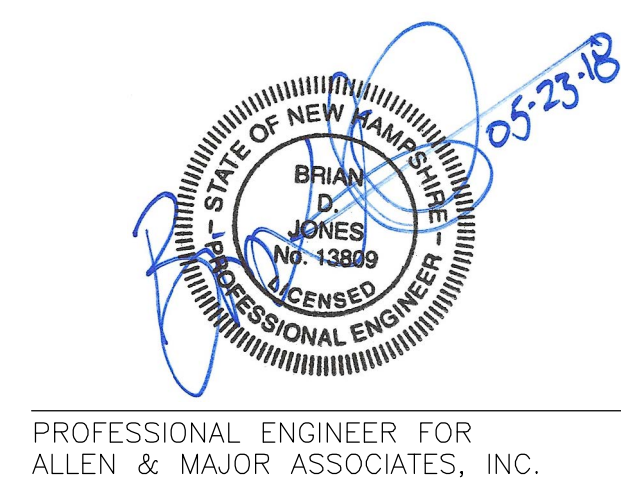
SECRETARY _____

DATE

OWNER'S SIGNATURE

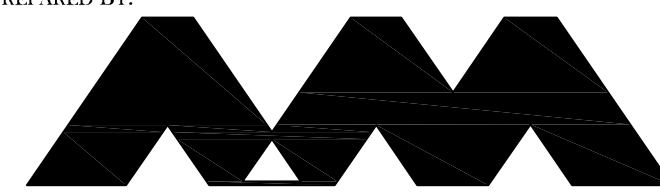
A GROSSMAN SUNCOOK, LLC - AUTHORIZED REPRESENTATIVE _____

DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil & structural engineering • land surveying
environmental consulting • landscape architecture
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ISSUED FOR SITE PLAN REVIEW: APRIL 4, 2018

REVISION 1 PER CNHRPC REVIEW: MAY 1, 2018

REVISION 2 PER PEER REVIEW: MAY 23, 2018

PLAN REFERENCES

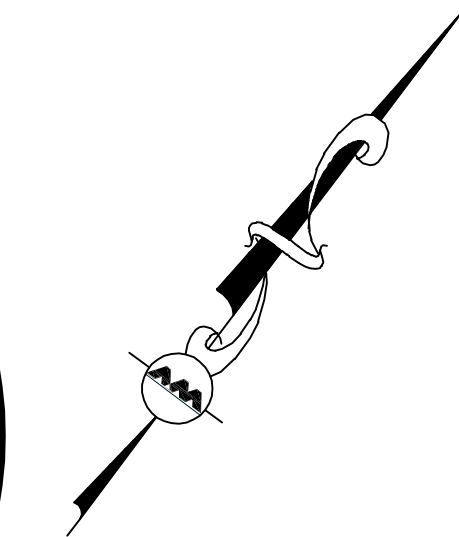
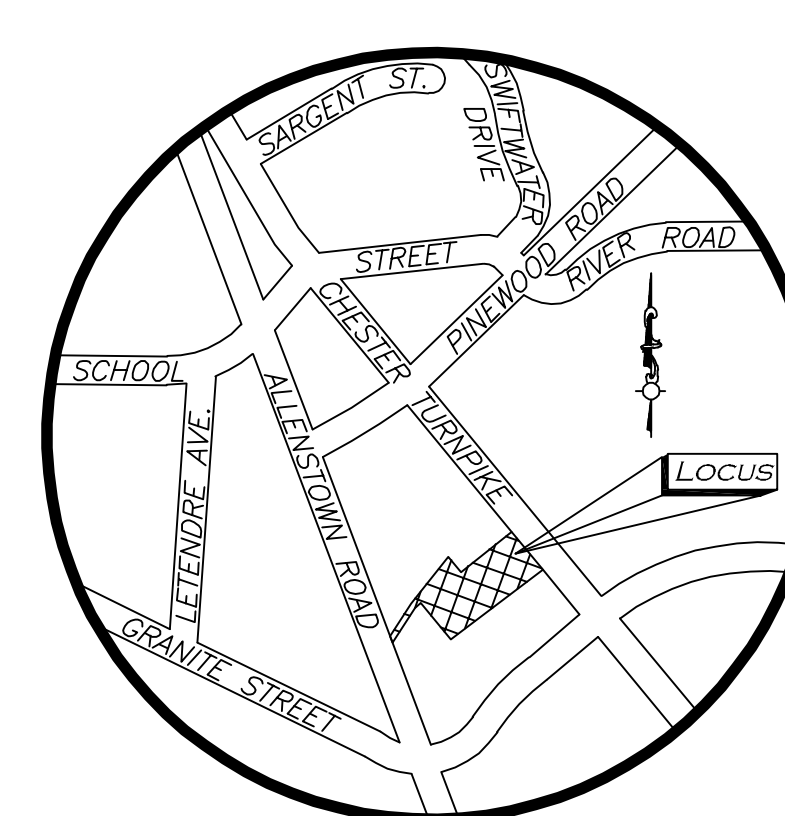
- SEE: "SUBDIVISION OF THE LAND OF THE ESTATE OF JUSTINE CURRIER ALLENSTOWN, NH, DATED: 01/21/1985 REV., SCALE: 1"=50'," PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. RECORDED AS MCRD PLAN #8176.
- SEE: "SURVEY OF THE LAND OF RESOURCE EXPLORATION, INC. LEASED TO THE KEY-LOC CORPORATION ALLENSTOWN, NH, DATED: 03/19/1985 REV., SCALE: 1"=50'," PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. RECORDED AS MCRD PLAN # 8217.
- SEE: "BOUNDARY SURVEY FOR PEMBROKE YACHT CORPORATION IN ALLENSTOWN, NH, DATED: 04/28/1967, SCALE: 1"=50'," PREPARED BY: LLOYD F. BROWN C.E. RECORDED AS MCRD PLAN #8053.
- SEE: "NH DEPARTMENT OF TRANSPORTATION PLAN PROJECT F-HES-017-1(18) NH PROJECT NO. 10289, US RTE. 3 / NH RTE 28 INTERSECTION WITH GRANITE STREET," RECORDED DATE: 11/13/1990, RECORDED AS MCRD PLAN NO. 11876.
- SEE: "BOUNDARY PLAN OF THE PROPERTY OF ARMAND & RITA RUEL NH ROUTE 28 ALLENSTOWN, NH 03275, DATED: 07/30/1992, SCALE: 1"=50', PREPARED BY: B.G. MILLER ASSOCIATES, RECORDED AS MCRD PLAN # 12489.
- SEE: "THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY PLANS OF PROPOSED BETTERMENT, NH PROJECT NO. 12039, US ROUTE 3 & NH ROUTE 28, TOWN OF ALLENSTOWN, NH COUNTY OF MERRIMACK, RECORDED DATE: MAY 07, 1997, RECORDED AS MCRD PLAN NO. 13947.
- SEE: "SIDEWALK CONSTRUCTION PLAN PREPARED FOR THE TOWN OF ALLENSTOWN TAX MAP 109 / LOT 27 GRANITE STREET & CHESTER TURNPIKE COUNTY OF MERRIMACK, ALLENSTOWN, NH, DATED: 11/20/2014, SCALE: 1"=20'," PREPARED BY HAIGHT ENGINEERING, PLLC, RECORDED AS MCRD PLAN # 20623.
- SEE: "ALTA/ACSM LAND TITLE SURVEY ALLENSTOWN ROAD, ALLENSTOWN, NEW HAMPSHIRE, FOR THE GROSSMAN COMPANIES, INC., DATED: 04/02/2014 REV., SCALE: 1"=40'," PREPARED BY DIPRETE ENGINEERING, PLAN IS UNRECORDED.

LOCUS REFERENCES

- TOWN OF ALLENSTOWN ASSESSORS MAP 109, LOT 28
- DEED BOOK 3436, PAGE 945
- LOT 2 ON PLAN #8176
- BOOK 2052 PAGE 1348 SLOPE & DRAINAGE EASEMENT
- BOOK 1688 PAGE 731 RIGHT OF WAY
- BOOK 1013 PAGE 507 12' WIDE RIGHT OF WAY

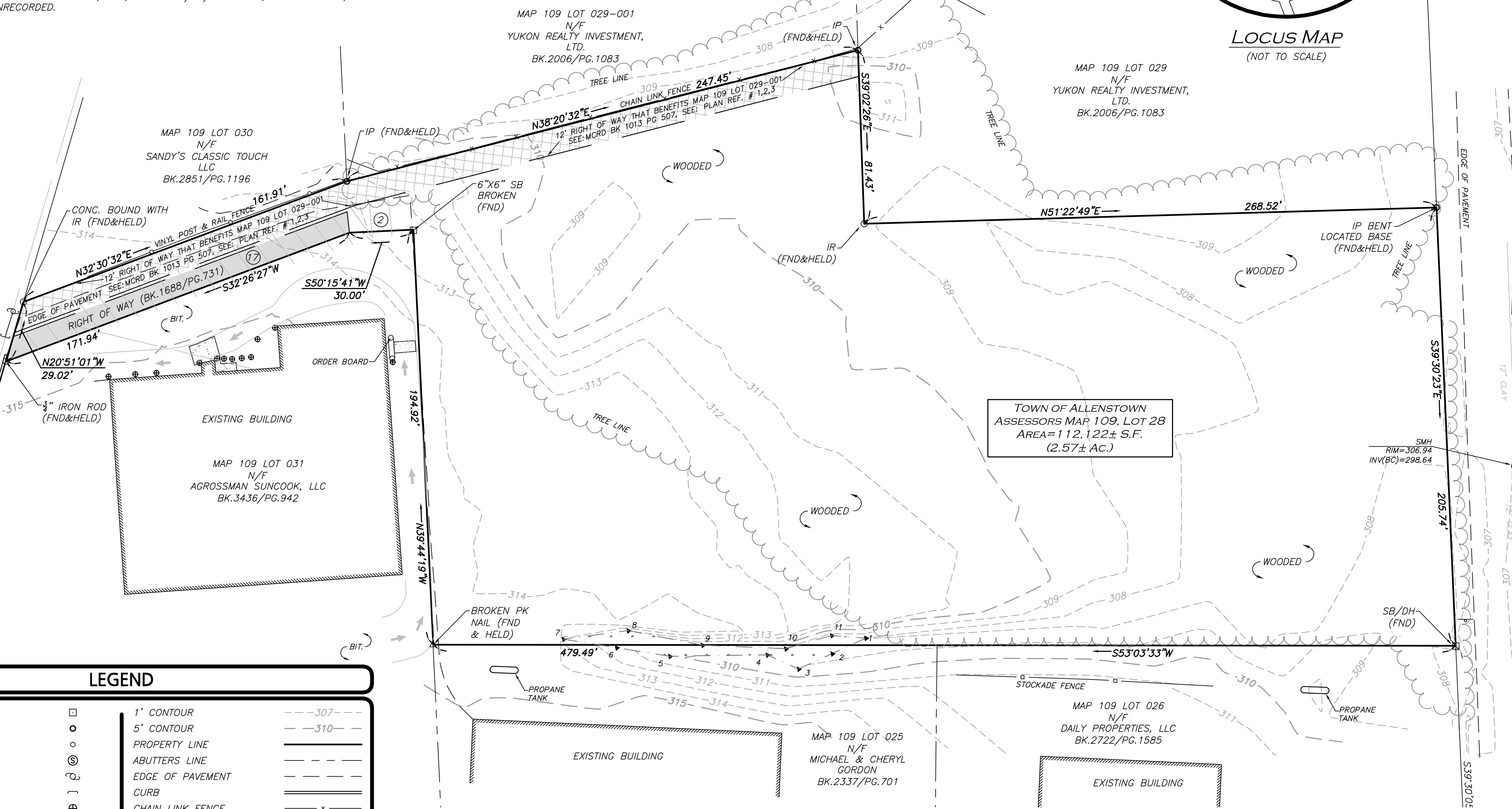
NOTES

- NORTH ARROW IS BASED ON NEW HAMPSHIRE STATE PLAN COORDINATE SYSTEM (NAD 83).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MERRIMACK COUNTY REGISTRY OF DEEDS IN CONCORD, NH.
- VERTICAL DATUM IS NAVD 88.
- CONTOUR INTERVAL IS ONE FOOT (1').
- WETLAND FLAGS SHOWN HEREON WERE SET BY TES ENVIRONMENTAL CONSULTANTS, LLC ON DECEMBER 1, 2015.
- THE PROPERTY IS WITHIN THE TOWN OF ALLENSTOWN BUSINESS DISTRICT AND GROUNDWATER PROTECTION DISTRICT.

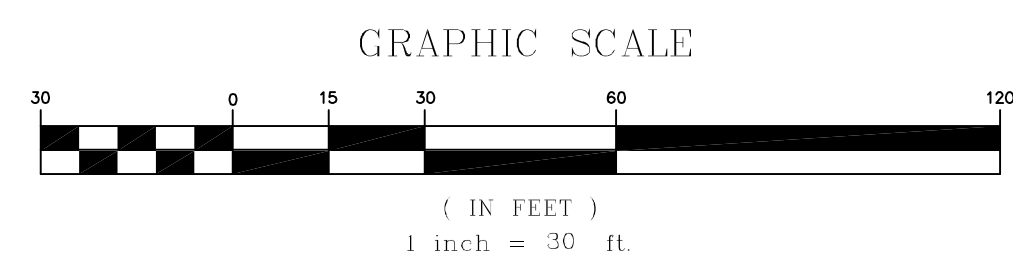


ALLENSTOWN ROAD
(PUBLIC - VARIABLE WIDTH)
(U.S. ROUTE 3 - NH. ROUTE 28)

CHESTER TURNPIKE
(PUBLIC - VARIABLE WIDTH)



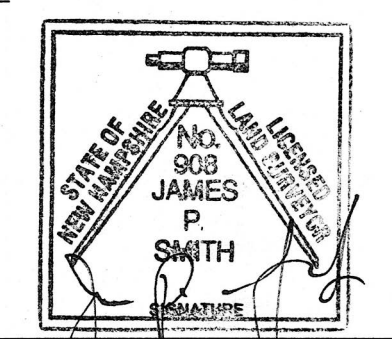
LEGEND	
STONE BOUND (SB)	□
IRON PIPE (IP)	○
IRON ROD (IR)	⊙
SEWER MANHOLE (SMH)	⊗
UTILITY POLE	⊕
GUY WIRE	—
BOLLARD	⊕
SIGN	⊕
SIGN	⊕
WETLAND FLAG	▶ 31
PAINTED ARROW	→
PARKING SPACE COUNT	Ⓟ
CONCRETE	▣
WETLAND AREA	▨
BUILDING	▭
WETLAND	▨
EASEMENT LINE	—
TREE LINE	⌒
1' CONTOUR	---307---
5' CONTOUR	---310---
PROPERTY LINE	—
ABUTTERS LINE	—
EDGE OF PAVEMENT	—
CURB	—
CHAIN LINK FENCE	-x-
STOCKADE FENCE	-o-
VINYL POST & RAIL FENCE	-o-
SEWER LINE	-s-
OVERHEAD WIRES	-ohw-
BITUMINOUS	-bit-
BOTTOM CENTER	(BC)
STONE BOUND W/DRILL HOLE	SB/DH
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.



THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JANUARY 4, 2016 THRU MARCH 30, 2018 AND HAD AN ERROR OF CLOSURE OF NO GREATER THAN 1/10,000.

ALLEN & MAJOR ASSOCIATES, INC.

404/2018
DATE



LICENSED LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
201 HIGHLAND, LLC
679 FIRST NH TURNPIKE
NORTHWOOD, NH 03261

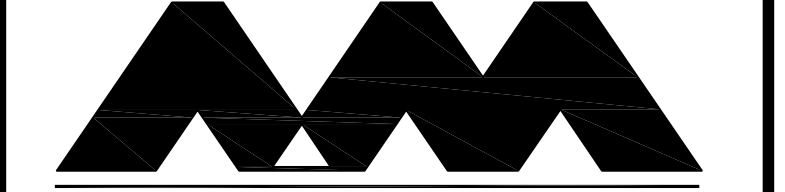
PROJECT:
15 CHESTER TURNPIKE
ALLENSTOWN, NH

PROJECT NO. 2047-04 DATE: 04/03/18

SCALE: 1" = 30' DWG. NAME: S-2047-04-EC

DRAFTED BY: COB/AJR CHECKED BY: KJK/KKC/JPS

PREPARED BY:



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DRAWING TITLE: EXISTING CONDITIONS SHEET No. V-1

LAND USAGE TABLE - BUSINESS

SECTION	ITEM	REQUIRED/ALLOWED	PROPOSED
804 (a.)	BUILDING HEIGHT	3 STORIES MAXIMUM 45' MAXIMUM	1-STORY 10'±
804 (b.)	SIDE YARD SETBACK ⁽²⁾	15' MINIMUM	16.5'
804 (c.)	REAR YARD SETBACK	40' MINIMUM	44.0'
804 (d.)	FRONT YARD SETBACK	20' MINIMUM	21.0'
804 (e.)	BUILDING COVERAGE ⁽³⁾	70% MAXIMUM	30.6% (34,290 S.F.)
804 (f.)	LOT FRONTAGE	75' MINIMUM	205.79'
ARTICLE XXV - V., c., 6., b.	WETLAND BUFFER ⁽⁴⁾	50' MINIMUM	12.2'± ⁽⁴⁾

FOOTNOTES:

- ON MARCH 14, 2018, A VARIANCE WAS GRANTED FROM ARTICLE VIII, SECTION 801, USES, TO ALLOW THE SELF STORAGE USE WITHIN THE BUSINESS DISTRICT (SEE CASE #2018-01).
- NO STRUCTURE SHALL BE ERECTED CLOSER THAN FIFTEEN (15) FEET TO ANY SIDE LOT LINE, UNLESS A FIRE WALL, APPROVED BY THE FIRE CHIEF, SHALL PROTECT BOTH STRUCTURES FACING SUCH A SIDE LOT LINE.
- NO MORE THAN SEVENTY (70%) OF THE LAND AREA OF ANY LOT MAY BE COVERED BY BUILDINGS OR STRUCTURES.
- ON MARCH 14, 2018, A VARIANCE WAS GRANTED FROM ARTICLE XXV, V., C., 6., b. 50-FOOT NO DISTURBANCE (SEE CASE #2018-01).

OFF-STREET PARKING SUMMARY

SELF STORAGE IS NOT A LISTED USE UNDER SECTION 1112 "PARKING REQUIREMENTS". ADEQUATE PARKING SHALL BE PROVIDED, SEE FOOTNOTE (1) BELOW.

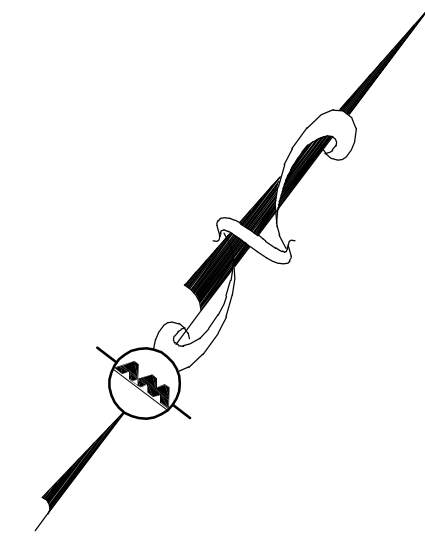
PARKING PROVIDED: THE ENTIRE PAVED AREA IS INTENDED TO BE USED FOR TEMPORARY PARKING TO FACILITATE LOADING AND UNLOADING ALONG THE SELF STORAGE BUILDINGS.

FOOTNOTES:

- SECTION 1112 OF THE ZONING ORDINANCE STATES: "ALL USES OTHER THAN RESIDENTIAL SHALL PROVIDE ADEQUATE PARKING SPACE OFF THE ROAD OR STREET AND OUTSIDE THE PUBLIC RIGHT-OF-WAY FOR VEHICLES DELIVERING, LOADING, UNLOADING, OR TAKING AWAY GOODS, MATERIALS, SUPPLIES OR WASTE IN CONNECTION WITH THE USE".

STORMCRETE PERMEABLE CONCRETE PANEL MAINTENANCE REQUIREMENTS:

- REGULAR INSPECTIONS SHOULD BE PERFORMED SEVERAL TIMES IN THE FIRST FEW MONTHS AND THEN 2 TIMES PER YEAR THEREAFTER. SURFACES SHOULD BE INSPECTED FOR ANY DEFICIENCIES AND ACCUMULATED SEDIMENT.
- SURFACES SHOULD BE VACUUMED AT LEAST 2 TIMES PER YEAR. REGENERATIVE AIR VACUUM SWEEPING EQUIPMENT IS RECOMMENDED.
- REHABILITATION OF SMALL AREAS OF CLOGGING CAN BE ACHIEVED USING FOCUSED VACUUM AND WATER PRESSURE. IF IN-SITU REHABILITATION IS NOT SUCCESSFUL THE STORMCRETE UNIT CAN BE REMOVED FOR ADDITIONAL REHAB TECHNIQUES (SOAKING, AIR OR WATER PRESSURE APPLIED FROM THE UNDERSIDE OF UNIT, LIGHT VIBRATION / PERCUSSION, ETC.) IN THE EVENT OF WIDE-SPREAD CLOGGING OR DAMAGE, THE UNIT CAN BE REMOVED AND REPLACED IN ALMOST ANY WEATHER, ANY TIME OF THE YEAR.
- SNOW REMOVAL: PLOW EDGES SHOULD BE WELL MAINTAINED AND EQUIPPED WITH SHOES. WHERE POSSIBLE, PLOW PASSES SHOULD BE MADE AT A 45-DEGREE ANGLE TO THE SLAB JOINTS. SAND SHOULD NOT BE APPLIED TO STORMCRETE SURFACES. THE MINIMUM AMOUNT OF DEICER SHOULD BE USED DUE TO THE STORMWATER FUNCTION OF THE STORMCRETE SYSTEM. DUE TO THE LOW WATER TO CEMENT RATIO IN POROUS CONCRETE, STORMCRETE TENDS TO BE RESISTANT TO DEICING CHEMICALS.
- REFER TO THE STORMCRETE DETAIL FOUND ON SHEET C-7 ON THIS SITE PLAN FOR ADDITIONAL INFORMATION REGARDING THE INSTALLATION OF THE PANELS.



LEGEND:

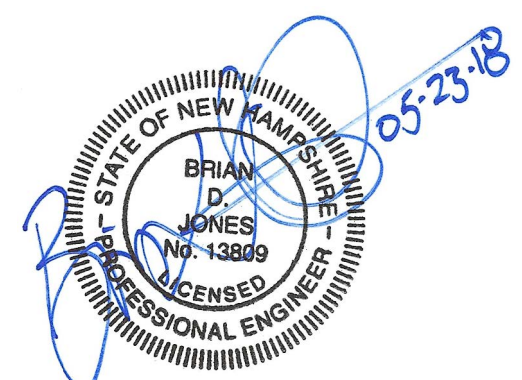
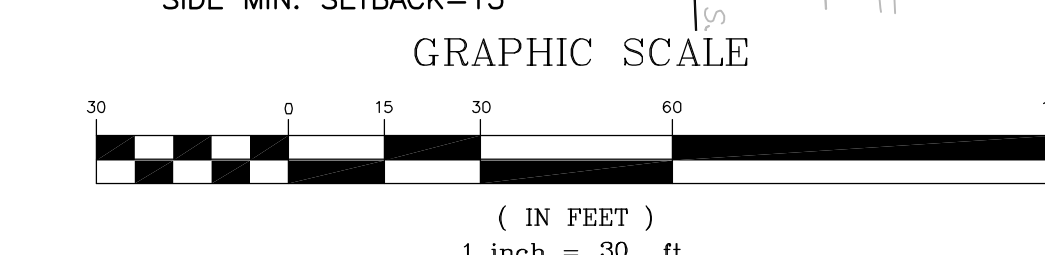
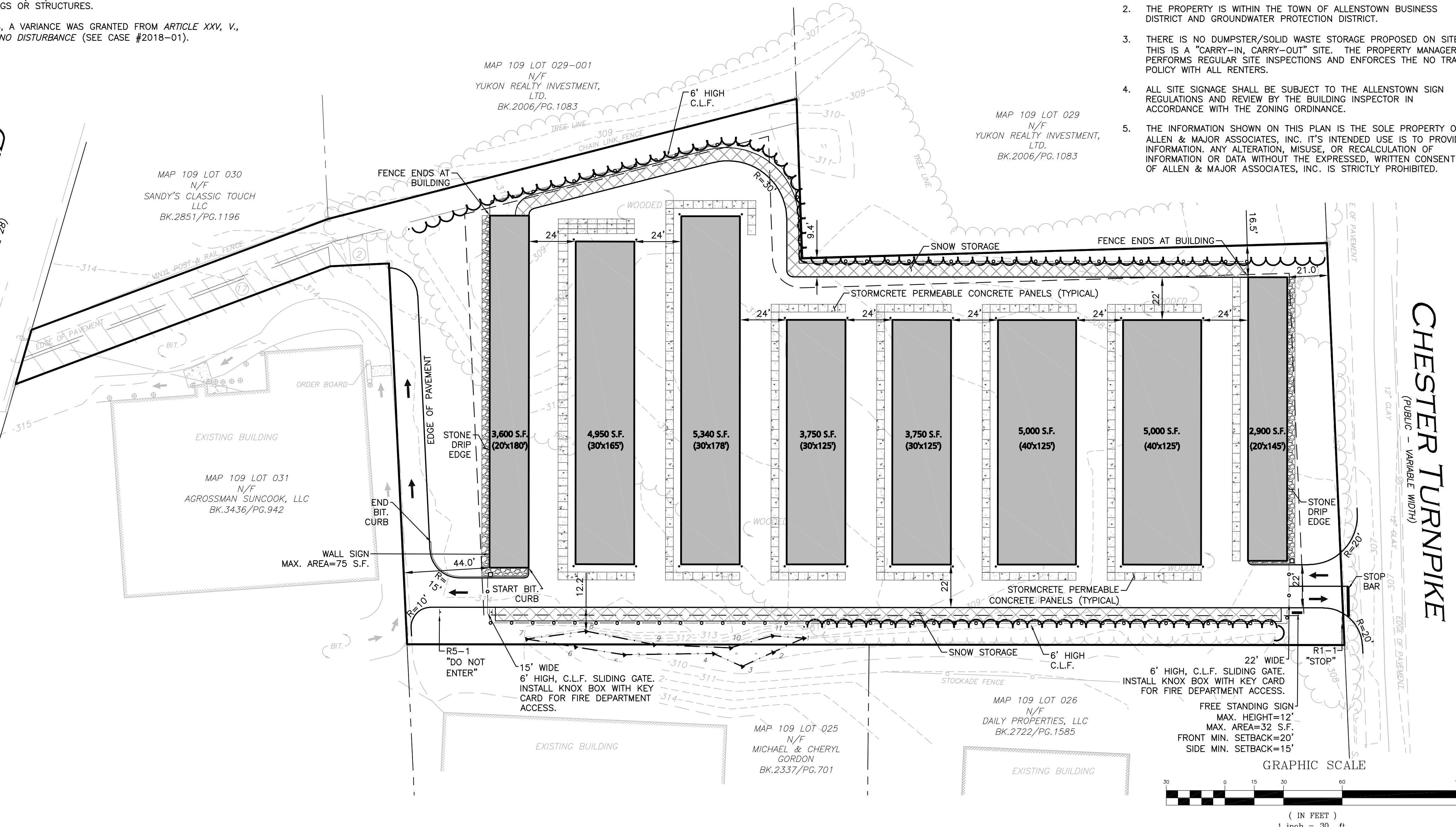
PROPERTY LINE	—
SIGN	—
BOLLARD	•
BUILDING	▬
BITUMINOUS CURB	▬
PARKING STRIPING	▬
ROADWAY MARKING	▬
TRAFFIC ARROWS	→
CONCRETE	▬
SNOW STORAGE	▬
SETBACK LINE	▬
6' HIGH CHAIN LINK FENCE	▬
TREE LINE	▬
STONE DRIP EDGE	▬

NOTES:

- ALL CURB RADII ARE TWO FEET UNLESS OTHERWISE INDICATED.
- THE PROPERTY IS WITHIN THE TOWN OF ALLENSTOWN BUSINESS DISTRICT AND GROUNDWATER PROTECTION DISTRICT.
- THERE IS NO DUMPSTER/SOLID WASTE STORAGE PROPOSED ON SITE. THIS IS A "CARRY-IN, CARRY-OUT" SITE. THE PROPERTY MANAGER PERFORMS REGULAR SITE INSPECTIONS AND ENFORCES THE NO TRASH POLICY WITH ALL RENTERS.
- ALL SITE SIGNAGE SHALL BE SUBJECT TO THE ALLENSTOWN SIGN REGULATIONS AND REVIEW BY THE BUILDING INSPECTOR IN ACCORDANCE WITH THE ZONING ORDINANCE.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

ALLENSTOWN ROAD
(PUBLIC - VARIABLE WIDTH)
(U.S. ROUTE 3 - N.H. ROUTE 28)

CHESTER TURNPIKE
(PUBLIC - VARIABLE WIDTH)



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	05-23-18	PER PEER REVIEW COMMENTS
1	05-01-18	PER CNHRPC REVIEW COMMENTS

APPLICANT:
201 HIGHLAND, LLC
679 FIRST NH TPK
NORTHWOOD, NH 03261

PROJECT:
SELF STORAGE FACILITY
15 CHESTER TURNPIKE
MAP 109, LOT 028
ALLENSTOWN, NH 03275

PROJECT NO.	2047-04A	DATE:	04-04-18
SCALE:	1"=30'	DWG. NAME:	C-2047-04
DRAFTED BY:	BDJ	CHECKED BY:	BDJ

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DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-1

TEST PIT #1 (TP1)							
EXISTING GROUND ELEVATION: 308.0							
PERFORMED BY: BRIAN D. JONES, P.E., ALLEN & MAJOR ASSOCIATES, INC.							
DATE: 02-07-18							
HORIZON	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES
HTM (FILL)	0-48"	-	-	-	-	NONE	URBAN FILL
C	48-112"	10YR	SAND	MASSIVE	FRIABLE	OXIDATION: 5YR REDUCTION: 10YR APPROX. 5% AT 72"	NO ROCKS, UNIFORM GRADATION

ESTIMATED SEASONAL HIGH WATER TABLE: 72" (ELEV=302.0)
OBSERVED WATER: 104" (ELEV=299.3)
WEEP: 102" (ELEV=299.5)
LEDGE: NONE OBSERVED

TEST PIT #3 (TP)							
EXISTING GROUND ELEVATION: 311.0							
PERFORMED BY: BRIAN D. JONES, P.E., ALLEN & MAJOR ASSOCIATES, INC.							
DATE: 02-07-18							
HORIZON	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES
HTM (FILL)	0-72"	-	-	-	-	NONE	URBAN FILL
C	72-120"	10YR	SAND	MASSIVE	FRIABLE	OXIDATION: 5YR REDUCTION: 10YR APPROX. 5% AT 82"	NO ROCKS, UNIFORM GRADATION

ESTIMATED SEASONAL HIGH WATER TABLE: 82" (ELEV=304.2)
OBSERVED WATER: 96" (ELEV=303.0)
WEEP: 90" (ELEV=303.5)
LEDGE: NONE OBSERVED

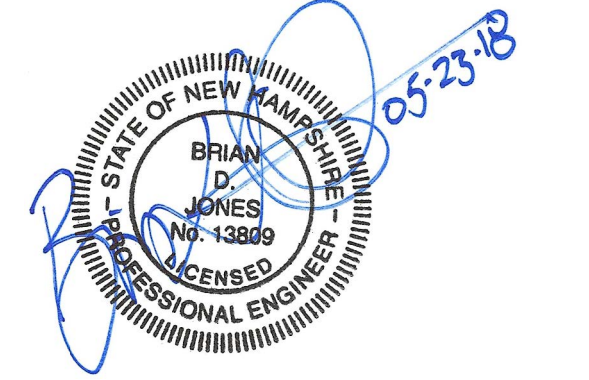
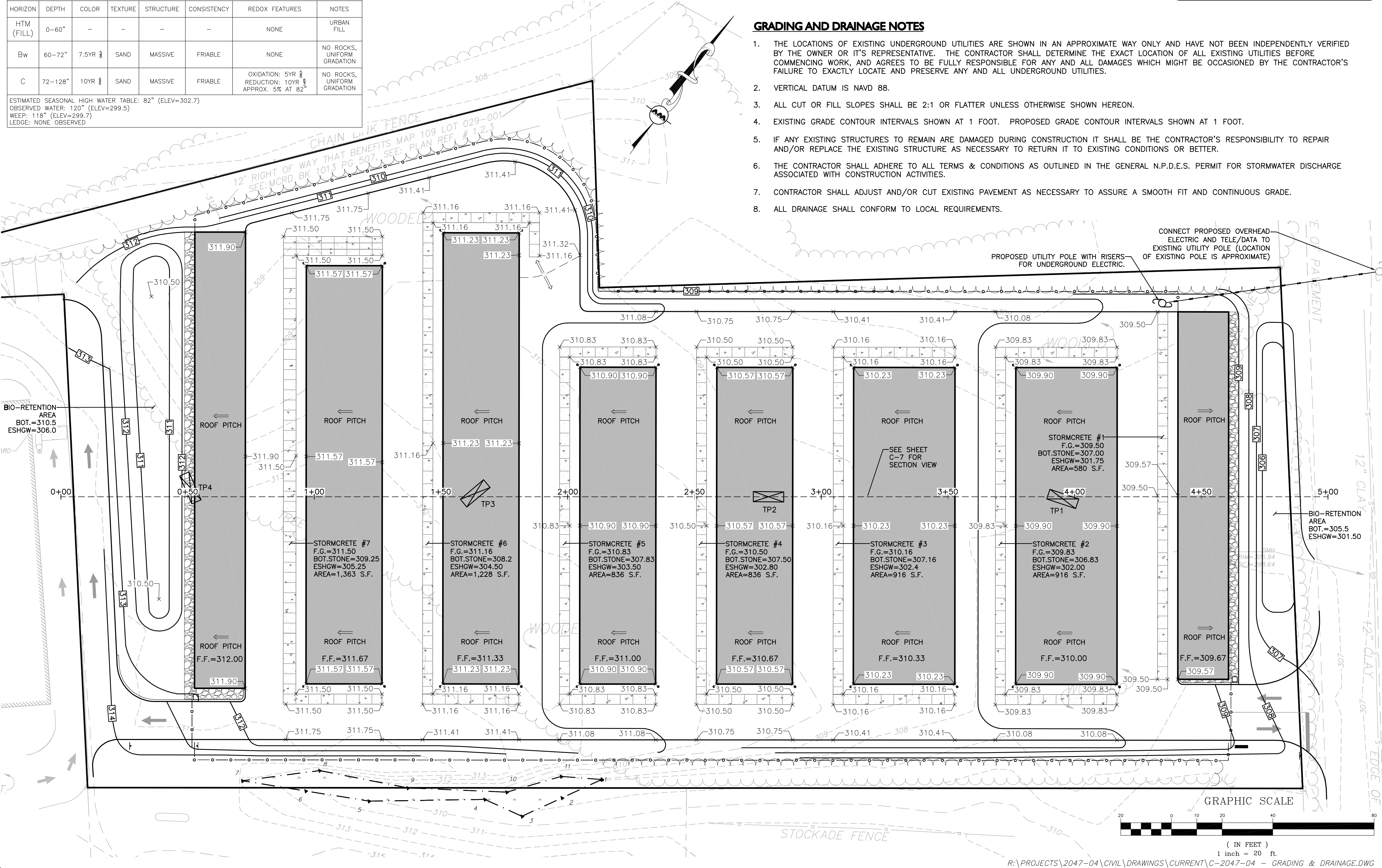
TEST PIT #4 (TP4)							
EXISTING GROUND ELEVATION: 313.2							
PERFORMED BY: BRIAN D. JONES, P.E., ALLEN & MAJOR ASSOCIATES, INC.							
DATE: 02-07-18							
HORIZON	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES
HTM (FILL)	0-70"	-	-	-	-	NONE	URBAN FILL
C	70-122"	10YR	SAND	MASSIVE	FRIABLE	OXIDATION: 5YR REDUCTION: 10YR APPROX. 5% AT 90"	NO ROCKS, UNIFORM GRADATION

ESTIMATED SEASONAL HIGH WATER TABLE: 90" (ELEV=305.7)
OBSERVED WATER: 120" (ELEV=303.2)
WEEP: 114" (ELEV=303.7)
LEDGE: NONE OBSERVED

TEST PIT #2 (TP2)							
EXISTING GROUND ELEVATION: 309.5							
PERFORMED BY: BRIAN D. JONES, P.E., ALLEN & MAJOR ASSOCIATES, INC.							
DATE: 02-07-18							
HORIZON	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES
HTM (FILL)	0-60"	-	-	-	-	NONE	URBAN FILL
Bw	60-72"	7.5YR	SAND	MASSIVE	FRIABLE	NONE	NO ROCKS, UNIFORM GRADATION
C	72-128"	10YR	SAND	MASSIVE	FRIABLE	OXIDATION: 5YR REDUCTION: 10YR APPROX. 5% AT 82"	NO ROCKS, UNIFORM GRADATION

ESTIMATED SEASONAL HIGH WATER TABLE: 82" (ELEV=302.7)
OBSERVED WATER: 120" (ELEV=299.5)
WEEP: 118" (ELEV=299.7)
LEDGE: NONE OBSERVED

LEGEND:	
1' CONTOUR	
SPOT GRADE	x 310.0
FLOW DIRECTION	
TEST PIT	
FINISHED FLOOR ELEV.	F.F.=310.0
UTILITY POLE	
OVERHEAD WIRES	
UNDERGROUND ELECTRIC	



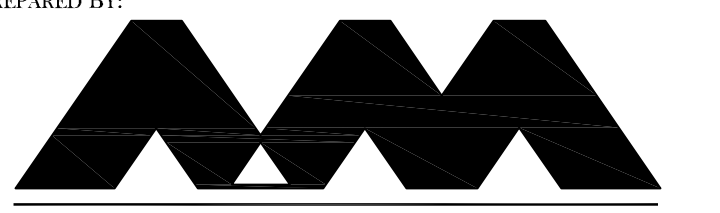
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APPLICANT:
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NORTHWOOD, NH 03261

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15 CHESTER TURNPIKE
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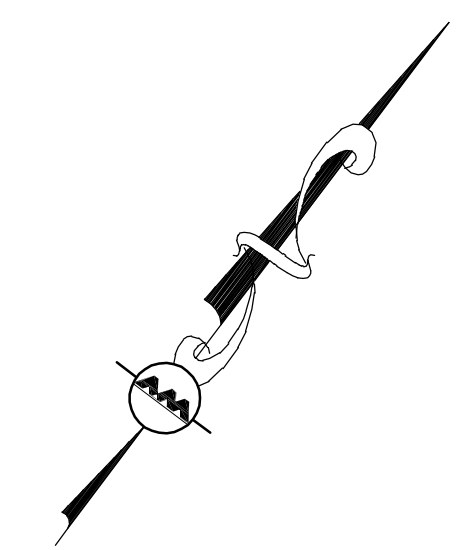
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DRAFTED BY: BDJ CHECKED BY: BDJ



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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET No. C-2
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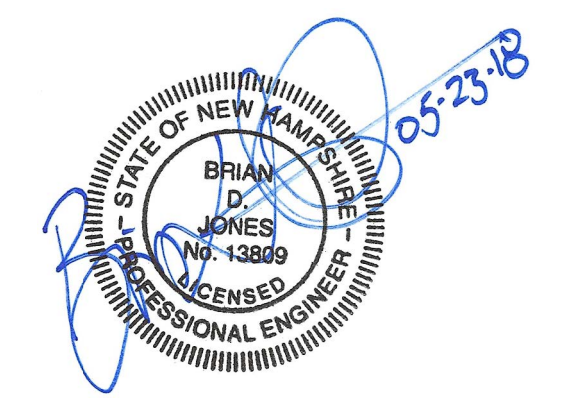


LEGEND:

TUBULAR SEDIMENT BARRIER	
STABILIZED CONST. ENTRANCE	
STOCKPILE/CONSTRUCTION STAGING AREA	
BUILDING OUTLINE	
PROPOSED CONTOUR	

NOTES:

1. VERTICAL DATUM IS NAVD 88.
2. SEE SHEET C-4 FOR STORMWATER POLLUTION PREVENTION NOTES.
3. SEE SHEET C-5 FOR STORMWATER POLLUTION PREVENTION DETAILS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	05-23-18	PER PEER REVIEW COMMENTS
1	05-01-18	PER CNHRPC REVIEW COMMENTS

APPLICANT:
201 HIGHLAND, LLC
679 FIRST NH TPK
NORTHWOOD, NH 03261

PROJECT:
SELF STORAGE FACILITY
15 CHESTER TURNPIKE
MAP 109, LOT 028
ALLENSTOWN, NH 03275

PROJECT NO. 2047-04A DATE: 04-04-18
SCALE: 1"=30' DWG. NAME: C-2047-04
DRAFTED BY: BDJ CHECKED BY: BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
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environmental consulting • landscape architecture
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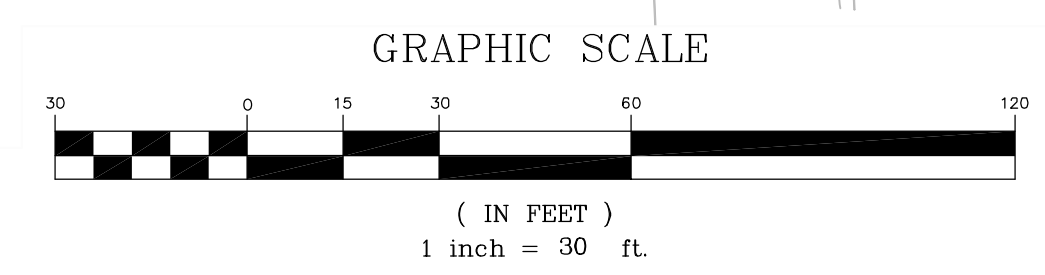
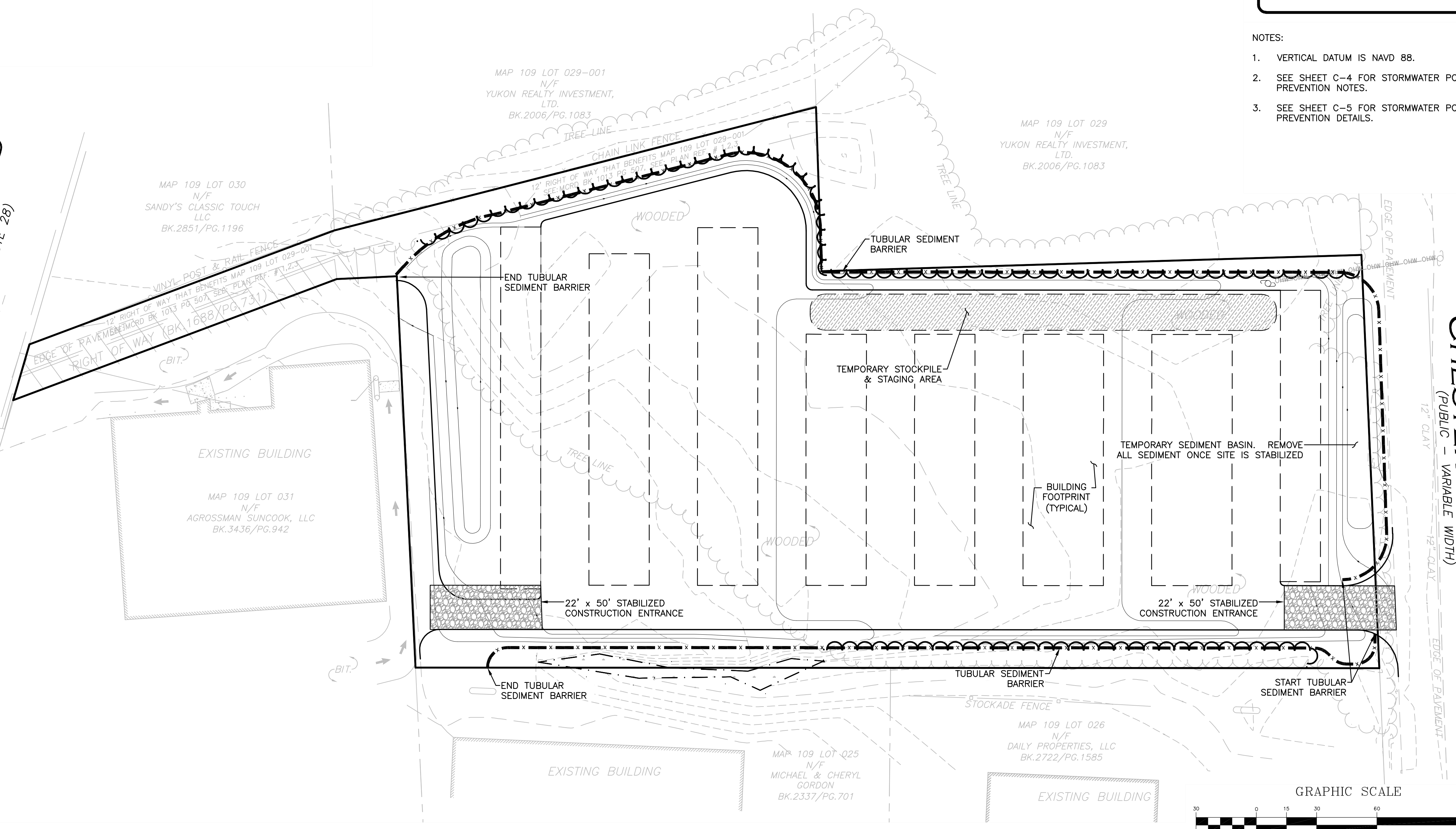
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DRAWING TITLE: **STORMWATER POLLUTION PREVENTION PLAN** SHEET No. **C-3**

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ALLENSTOWN ROAD
(U.S. ROUTE 3 - VARIABLE WIDTH)
(N.H. ROUTE 28)

CHESTER TURNPIKE
(PUBLIC - VARIABLE WIDTH)
12" CLAY
12" CLAY



CONSTRUCTION GENERAL PERMIT

1. THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATOR), NEEDS TO OBTAIN A CONSTRUCTION GENERAL PERMIT (CGP) FOR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (US EPA). AS PART OF THE CGP, A STORM WATER NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE US EPA AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI WILL NEED TO BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4203M), US EPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460.
2. THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP'S), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT US EPA OFFICE OF WASTEWATER MANAGEMENT AT 202-564-9545 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION.

NOTES

1. IT IS BEING PROPOSED TO CONSTRUCT A SELF STORAGE FACILITY OF APPROXIMATELY 34,290± SQUARE FEET.
2. TOTAL SITE AREA: 112,093 S.F. / 2.57 AC.
TOTAL AREA OF DISTURBANCE: 94,500± S.F. / 2.17 AC.
3. THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF PERMEABLE CONCRETE PAVERS SET AT LOW POINTS TO PROMOTE INFILTRATION AND STORMWATER RECHARGE. THERE IS ALSO A BIO-RETENTION AREA ALONG CHESTER TURNPIKE AND AT THE REAR OF THE SITE TO CAPTURE AND TREAT STORMWATER RUNOFF. THE STORMWATER MANAGEMENT SYSTEM IS SHOWN ON THE GRADING & DRAINAGE PLAN (SHEET C-2).
4. **STABILIZATION PRACTICES** FOR EROSION AND SEDIMENTATION CONTROLS:
TEMPORARY STABILIZATION – TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE RE-DISTURBED FOR 21 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1.1 LBS PER 1,000 SQUARE FEET. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL TEMPORARILY BE STABILIZED BY APPLYING GEOTEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL NOT BE USED FOR DUST CONTROL.
ALL UNSURFACED AREAS TEMPORARILY OR PERMANENTLY DISTURBED BY GRADING OPERATION SHALL RECEIVE RIP RAP OR 6 INCHES OF LOAM AND SEED. SEE GRADING PLAN FOR LOCATIONS OF RIP RAP. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH TOWN SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
PERMANENT STABILIZATION – DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL CONSIST OF 0.45 LBS/1,000 S.F. TALL FESCUE, 0.20 LBS/1,000 S.F. CREEPING RED FESCUE, AND 0.20 LBS/1,000 S.F. BIRDSFOOT TREFLOIL. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.
5. **STRUCTURAL PRACTICES** FOR EROSION AND SEDIMENTATION CONTROL
SILTATION BARRIER– WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. TUBULAR SEDIMENT BARRIER SHALL BE INSTALLED ALONG THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS.
STABILIZED CONSTRUCTION ENTRANCE – WILL BE INSTALLED AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. THE STABILIZED ENTRANCE SHALL BE MINIMUM OF 22 FEET WIDE BY 50 FEET LONG AND HAVE A DEPTH OF 8 INCHES OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED.
6. **STORMWATER MANAGEMENT**
ALL OF THE STORMWATER RUNOFF IS DIRECTED TOWARDS THE PERMEABLE CONCRETE PAVERS OR THE BIO-RETENTION AREA. THE STONE RESERVOIR COURSE BELOW THE PERMEABLE CONCRETE PAVERS PROVIDES TEMPORARY STORAGE OF THE RUNOFF AND ALLOWS FOR INFILTRATION. THERE IS A MINIMUM OF FOUR FEET OF SEPARATION FROM THE BOTTOM OF THE STONE RESERVOIR COURSE AND THE SEASONAL HIGH WATER TABLE. THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO ACCOMMODATE UP TO AND INCLUDING THE 50-YEAR STORM EVENT.
7. ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.
8. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED IN THE LOCATION SHOWN ON THE PLAN IN ACCORDANCE WITH THE DETAIL, TO MINIMIZE TRACKING OF SEDIMENT OFFSITE BY CONSTRUCTION VEHICLES. THE PAVED STREET ADJACENT TO THE SITE SHALL BE INSPECTED ON A DAILY BASIS AND SWEEPED AS NEEDED TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED.
9. A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ONSITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA, AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED BY THE US EPA SHALL TAKE THE FOLLOWING STEPS:
 - A. NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (800) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.
 - B. WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE US EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
 - C. MODIFY THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE.

NOTES CONTINUED

10. **GOOD HOUSEKEEPING:**
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.
 - A. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - B. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - C. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
 - D. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - E. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - F. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - G. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.
11. **HAZARDOUS PRODUCTS:**
THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
 - A. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RE-SEALABLE.
 - B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
 - C. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
12. **PRODUCT SPECIFIC PRACTICES:**
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:
 - A. **PETROLEUM PRODUCTS:**
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - B. **FERTILIZERS:**
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
 - C. **PAINTS:**
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
 - D. **CONCRETE TRUCKS:**
CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONTO THE SITE.
13. **SPILL CONTROL PRACTICES:**
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
 - F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
 - G. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.
14. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.
15. THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS OR WITHIN 24 HOURS AFTER A STORM OF 0.25 INCH OR GREATER. INSPECTIONS REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.
16. THIS PROJECT WILL DISTURB OVER ONE ACRE OF GROUND COVER AND/OR MEETS OTHER THRESHOLDS RELATED TO PERMIT CRITERIA FOR US EPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) COMPLIANCE. THE SITE CONTRACTOR IS RESPONSIBLE FOR DEVELOPMENT AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), SUBMISSION OF A NOTICE OF INTENT (NOI) TO US EPA, INSPECTION AND MAINTENANCE OF SEDIMENT CONTROL MEASURES, DOCUMENTATION OF MAINTENANCE ACTIVITIES, AND SUBMISSION A NOTICE OF TERMINATION (NOT) TO US EPA. THE SITE CONTRACTOR IS ALSO RESPONSIBLE TO COMPLY WITH ALL OTHER FEDERAL, STATE AND LOCAL STORMWATER OR NPDES REQUIREMENTS.
17. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED AND THE GROUND SURFACE IS STABILIZED. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MONITORED BY THE APPLICANT ON A PERIODIC BASIS DURING CONSTRUCTION AND ANY DEFICIENCIES SHALL BE CORRECTED AS SOON AS POSSIBLE.

NOTES CONTINUED

18. **DUST CONTROL**
 - A. IN AN EFFORT TO CONTROL FUGITIVE DUST, THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBANCE TO THE MAXIMUM EXTENT PRACTICAL.
 - B. AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE RE-DISTURBED FOR 21 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. REFER TO STABILIZATION NOTES ON THIS SHEET FOR FURTHER INFORMATION REGARDING STABILIZATION BEST MANAGEMENT PRACTICES.
 - C. DURING THE PERIOD OF THE MASS EXCAVATION, THE CONTRACTOR SHALL HAVE A WATER TRUCK AVAILABLE TO WET DOWN THE SITE AS NECESSARY TO REDUCE FUGITIVE DUST.
 - D. CALCIUM CHLORIDE SHALL NOT BE USED FOR DUST CONTROL.
 - E. THE OWNER AND/OR THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REQUIRE THE SITE OPERATOR TO SUPPLEMENT THE DUST CONTROL PROGRAM AT ANY TIME DURING CONSTRUCTION.
 - F. THE CONTRACTOR SHALL INCLUDE THE DUST CONTROL MEASURES WITHIN THE BASE BID.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

1	05-23-18	PER PEER REVIEW COMMENTS
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APPLICANT:
201 HIGHLAND, LLC
679 FIRST NH TPK
NORTHWOOD, NH 03261

PROJECT:
**SELF STORAGE FACILITY
15 CHESTER TURNPIKE
MAP 109, LOT 028
ALLENSTOWN, NH 03275**

PROJECT NO. 2047-04A DATE: 04-04-18

SCALE: NOT TO SCALE DWG. NAME: C-2047-04

DRAFTED BY: BDJ CHECKED BY: BDJ

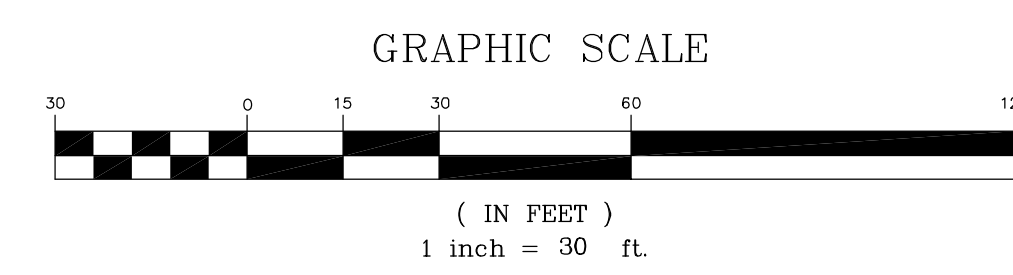
PREPARED BY:

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DRAWING TITLE: **STORMWATER POLLUTION PREVENTION NOTES** SHEET No. **C-4**
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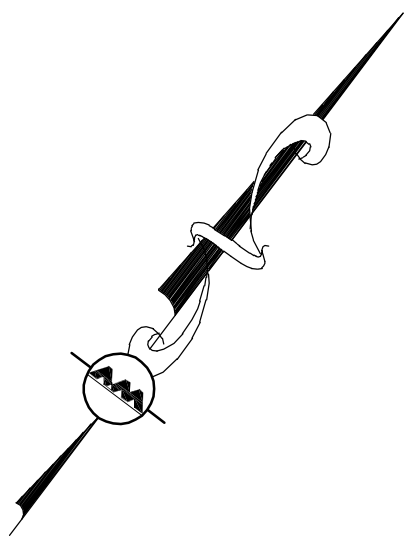
LIGHTING LEVEL SUMMARY						
AREA	UNITS	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
PAVEMENT AREA	Fc	7.0	45.2	1.0	7.0	45.2
OVERALL SITE	Fc	2.3	45.2	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE							
SYMBOL	QTY	LABEL	ARRANGEMENT	HEIGHT	LUMENS	WATTS	DESCRIPTION
	68	A	BUILDING MOUNT	9'-0"	7017	55	WP3LED55N (STANDARD CUTOFF - PRISMATIC GLASS LENS)

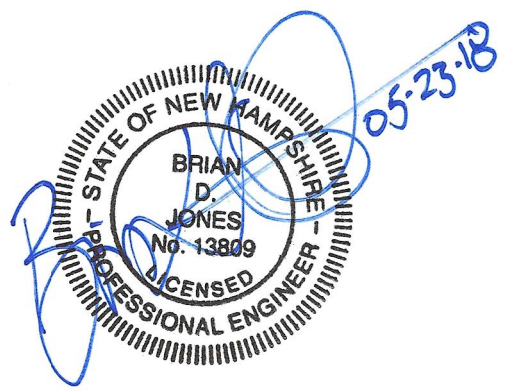


BUILDING MOUNT LED LIGHTING FIXTURE
 RAB LIGHTING: WP3LED55N
 COLOR: BRONZE
 WATTS: 55
 COLOR TEMP: 4000K
 LUMENS: 7017

LEGEND			
BUILDING MOUNT			
LIGHTING LEVELS	0.0	0.2	0.6
GIVEN IN FOOT-CANDLES	0.1	0.5	10.0

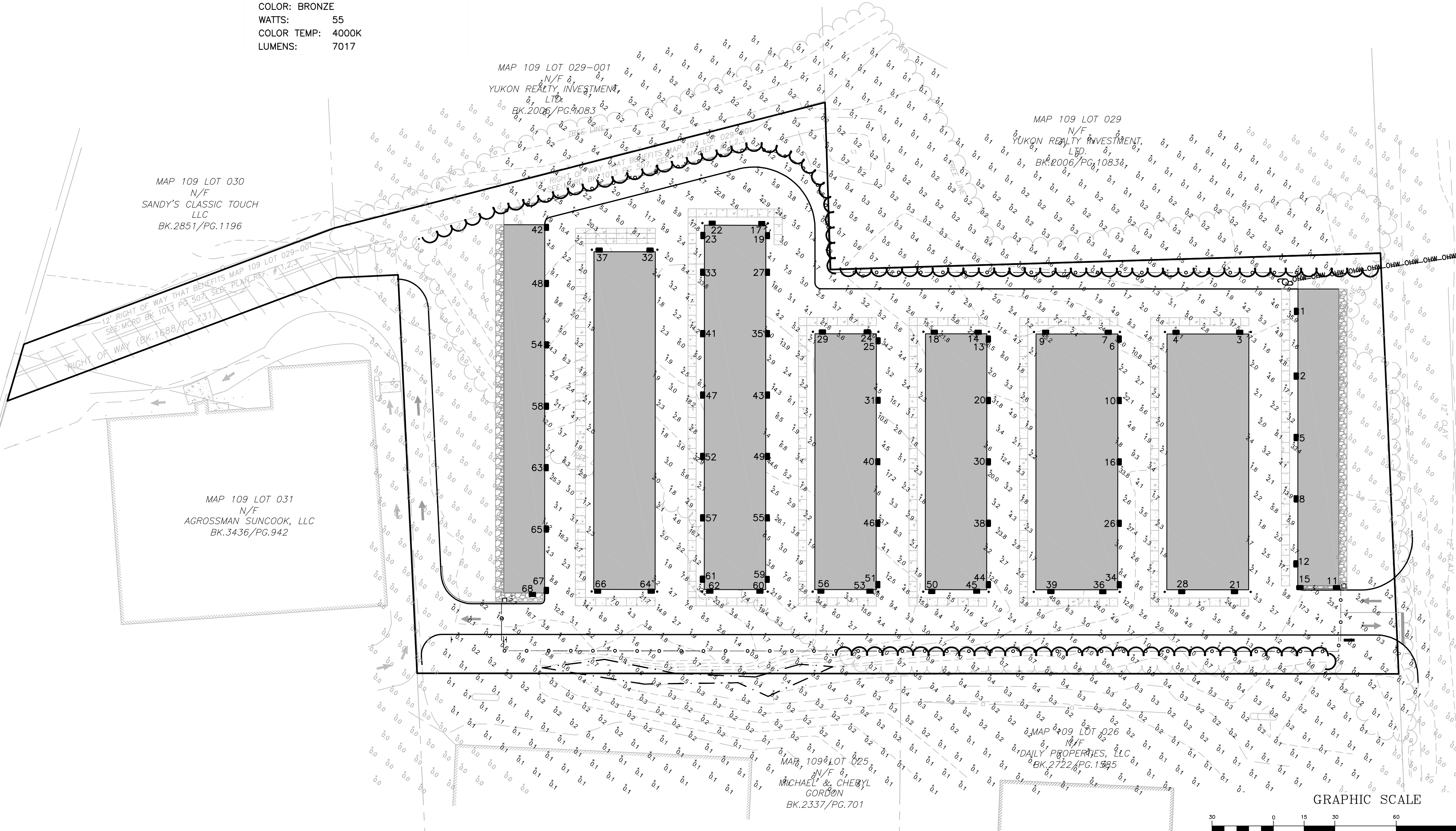


- NOTES:
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - VERTICAL DATUM IS NAVD 88.

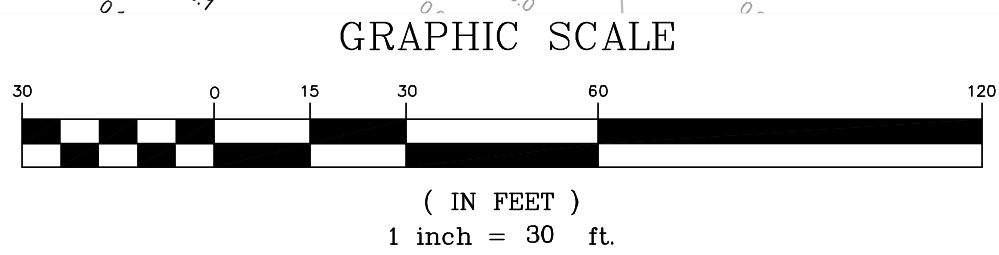


PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

ALLENSTOWN ROAD
 (PUBLIC - VARIABLE WIDTH)
 (U.S. ROUTE 3 - N.H. ROUTE 28)



CHESTER TURNPIKE
 (PUBLIC - VARIABLE WIDTH)

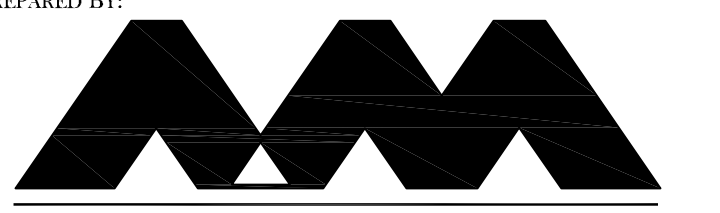


REV	DATE	DESCRIPTION
1	05-01-18	PER CNHRPC REVIEW COMMENTS

APPLICANT:
 201 HIGHLAND, LLC
 679 FIRST NH TPK
 NORTHWOOD, NH 03261

PROJECT:
 SELF STORAGE FACILITY
 15 CHESTER TURNPIKE
 MAP 109, LOT 028
 ALLENSTOWN, NH 03275

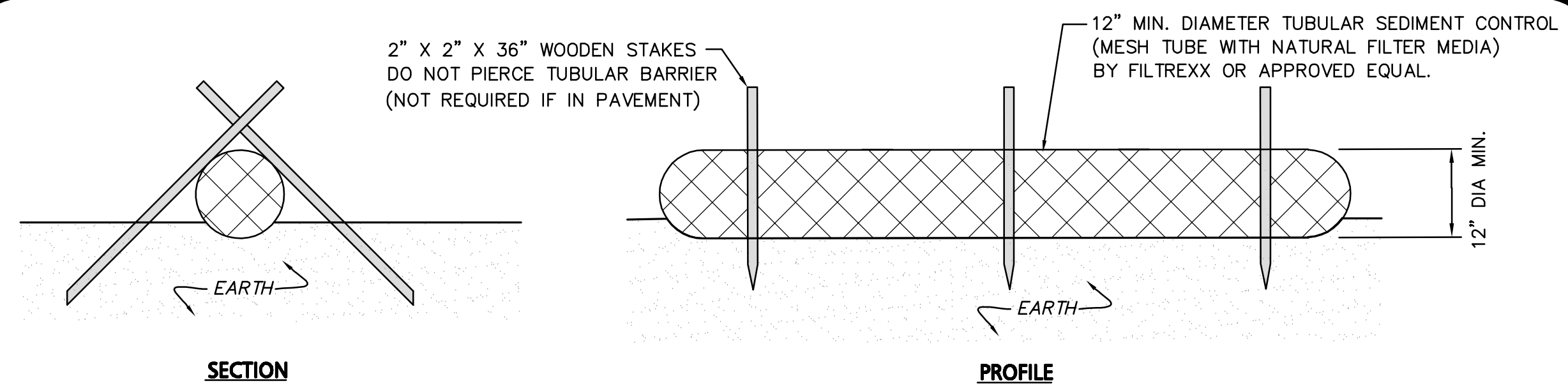
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DRAWING TITLE: **SITE LIGHTING PLAN** SHEET No. **C-5**



SECTION

2" X 2" X 36" WOODEN STAKES DO NOT PIERCE TUBULAR BARRIER (NOT REQUIRED IF IN PAVEMENT)

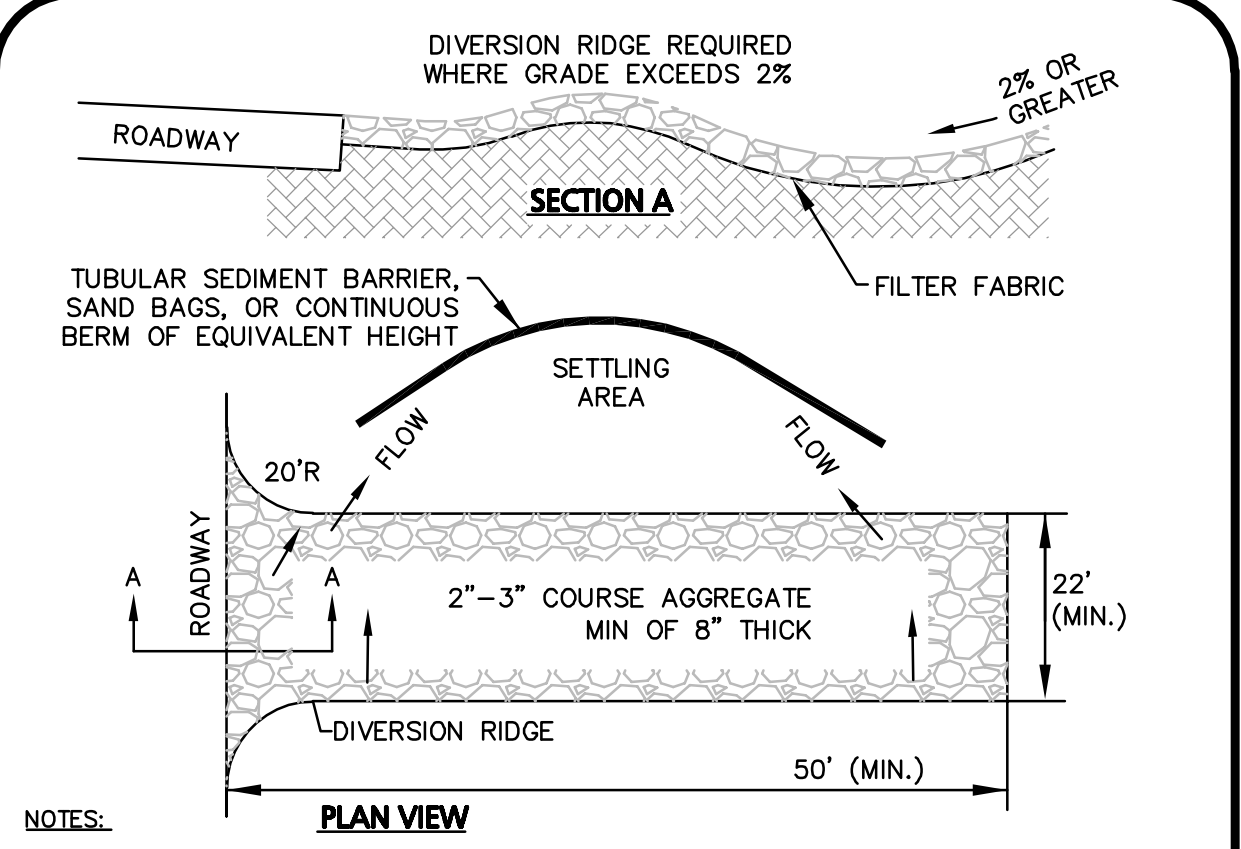
PROFILE

12" MIN. DIA. MIN.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE

NOTES:

1. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
2. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER.
3. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
4. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
5. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
6. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.



SECTION A

ROADWAY

2% OR GREATER

FILTER FABRIC

TUBULAR SEDIMENT BARRIER, SAND BAGS, OR CONTINUOUS BERM OF EQUIVALENT HEIGHT

SETTLING AREA

20' R

22' (MIN.)

2"-3" COURSE AGGREGATE MIN OF 8" THICK

DIVERSION RIDGE

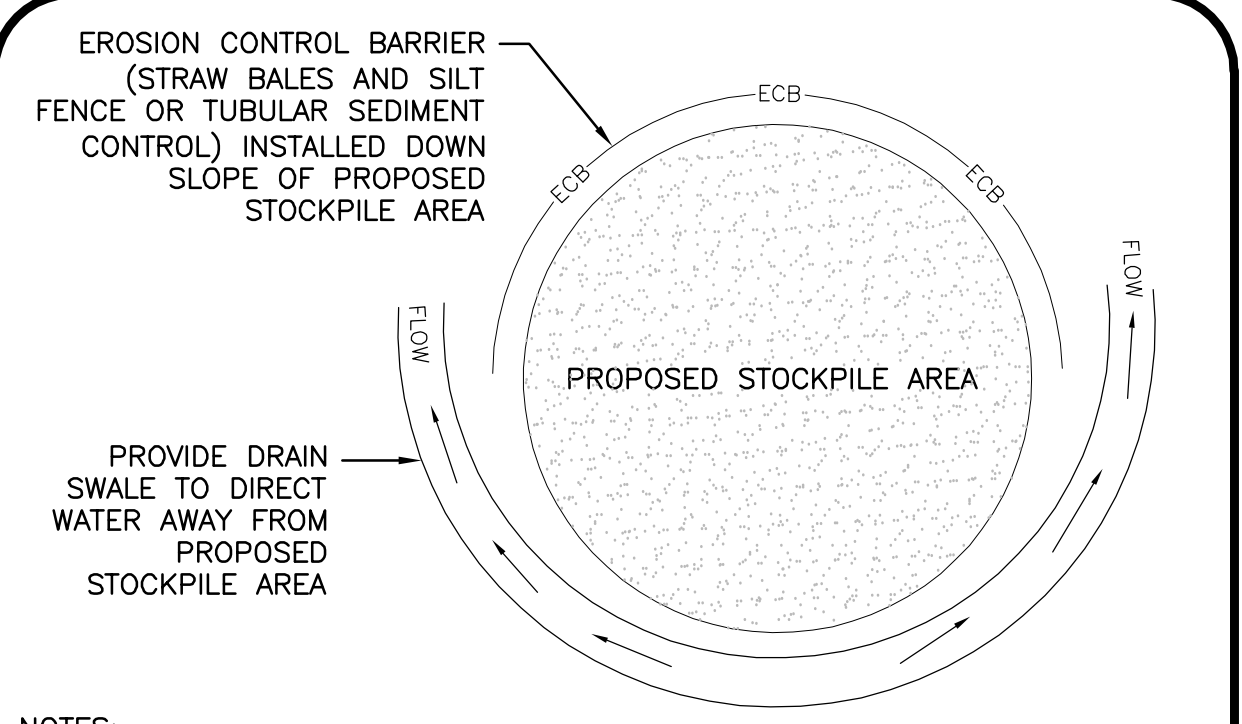
50' (MIN.)

PLAN VIEW

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE OR TUBULAR SEDIMENT CONTROL) INSTALLED DOWN SLOPE OF PROPOSED STOCKPILE AREA

ECB

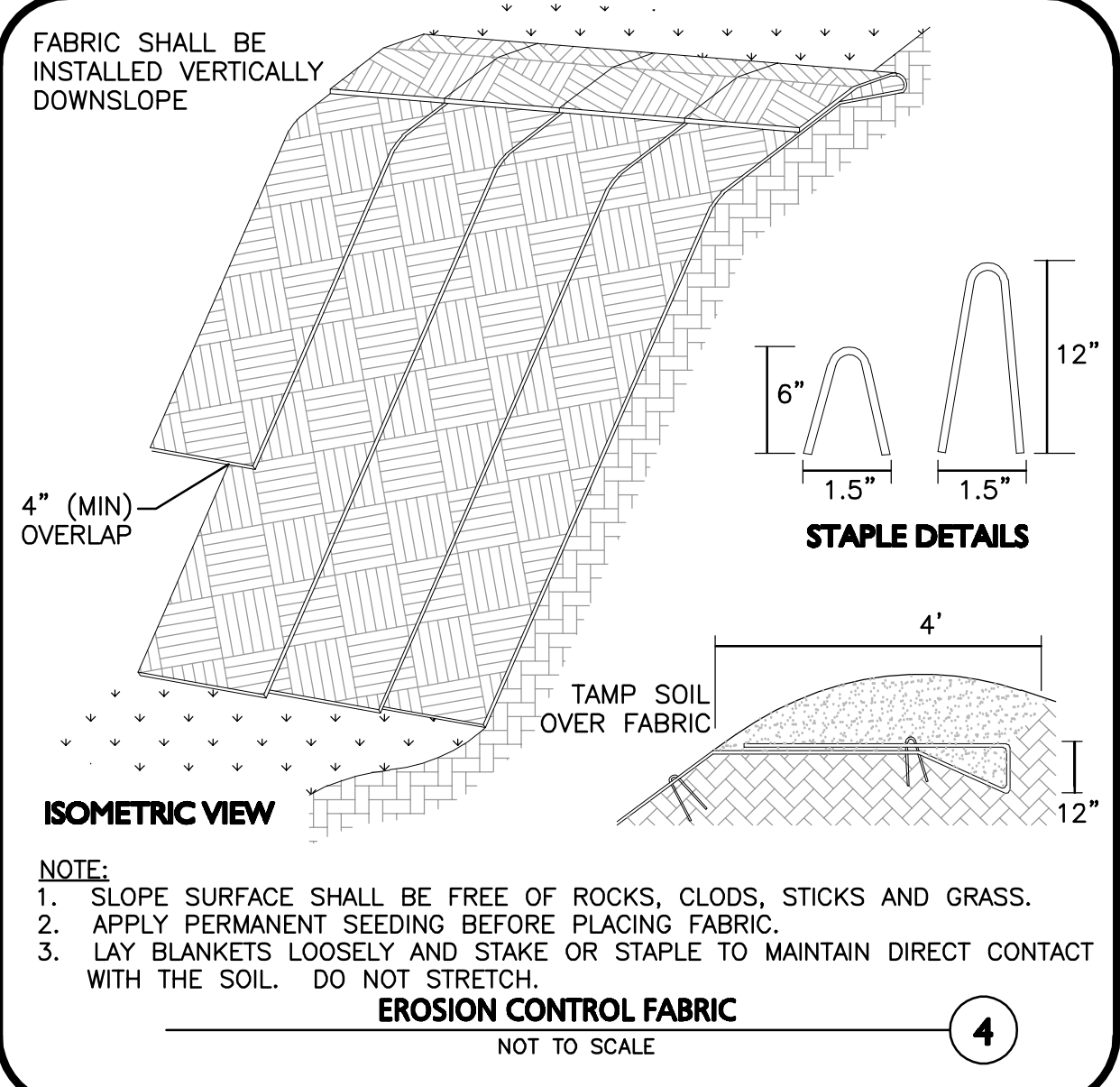
PROPOSED STOCKPILE AREA

PROVIDE DRAIN SWALE TO DIRECT WATER AWAY FROM PROPOSED STOCKPILE AREA

STOCKPILE PROTECTION
NOT TO SCALE

NOTES:

1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH STRAW MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.



EROSION CONTROL FABRIC
NOT TO SCALE

GRADATION SPECIFICATION

SIEVE SIZE	PERCENT PASSING BY WEIGHT		
	CLEAN GRANULAR FILL	BASE COURSE	SELECT GRANULAR FILL
8"	100	100	100
3"	70-100	100	70-100
1 1/2"	40-100	40-80	40-90
No. 4	25-100	30-70	25-80
No. 10	15-95	20-60	15-70
No. 40	10-70	10-30	5-40
No. 200	0-15	3-10	0-12

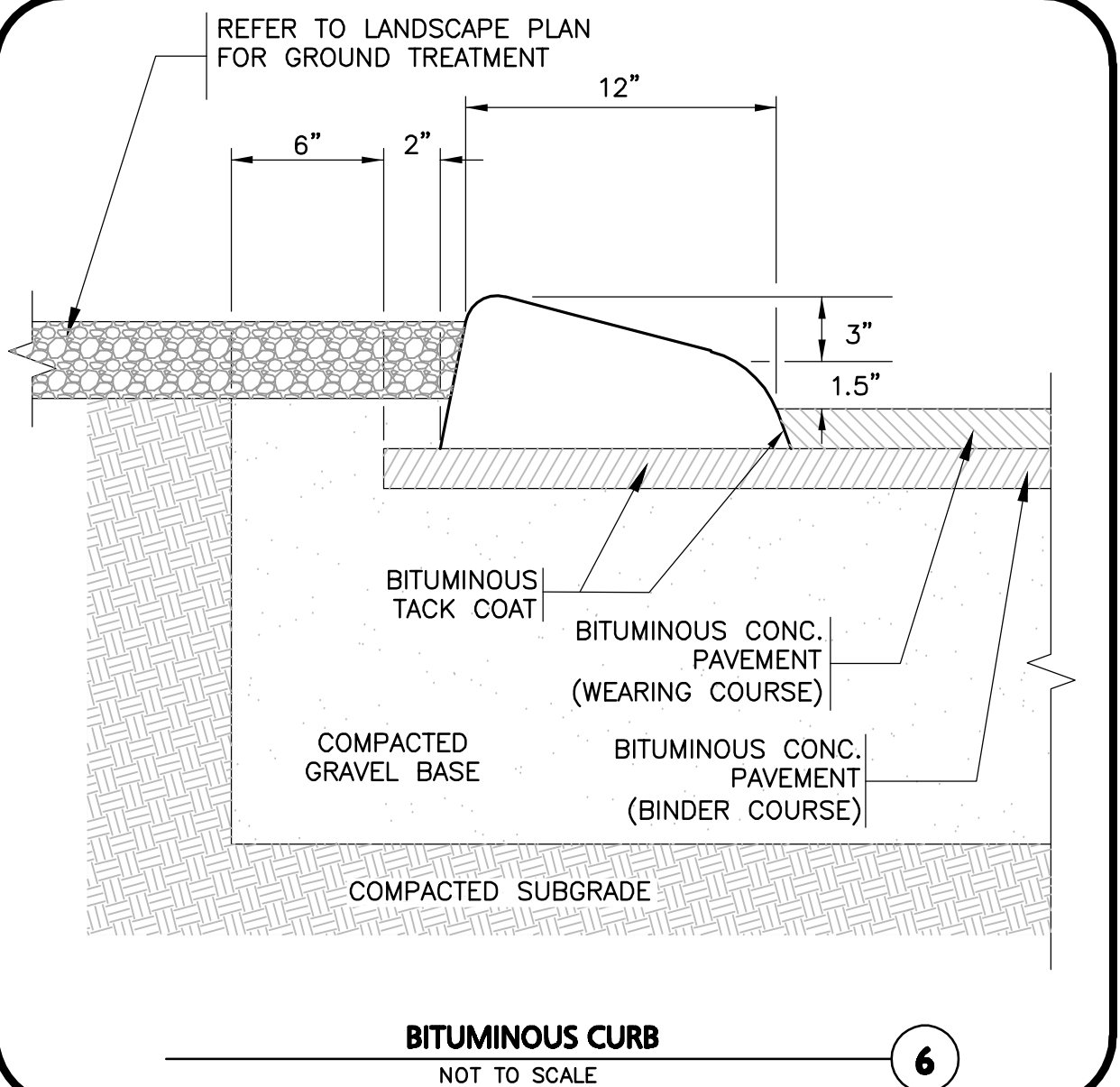
STANDARD DUTY FLEXIBLE PAVEMENT DESIGN SECTION

LAYER NUMBER	LAYER DESCRIPTION	LAYER THICKNESS (INCHES)
1	BITUMINOUS WEARING COURSE (1/2" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1"
2	BITUMINOUS BINDER COURSE (1/2" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	2"
3	CRUSHED GRAVEL (BASE COURSE) (NHDOT ITEM 304.3)	4"
4	BANK RUN GRAVEL (SUBBASE COURSE) (NHDOT ITEM 304.2)	10"
5	CLEAN GRANULAR FILL MATERIAL OR APPROVED ON-SITE MATERIALS (SUBGRADE)	AS NECESSARY

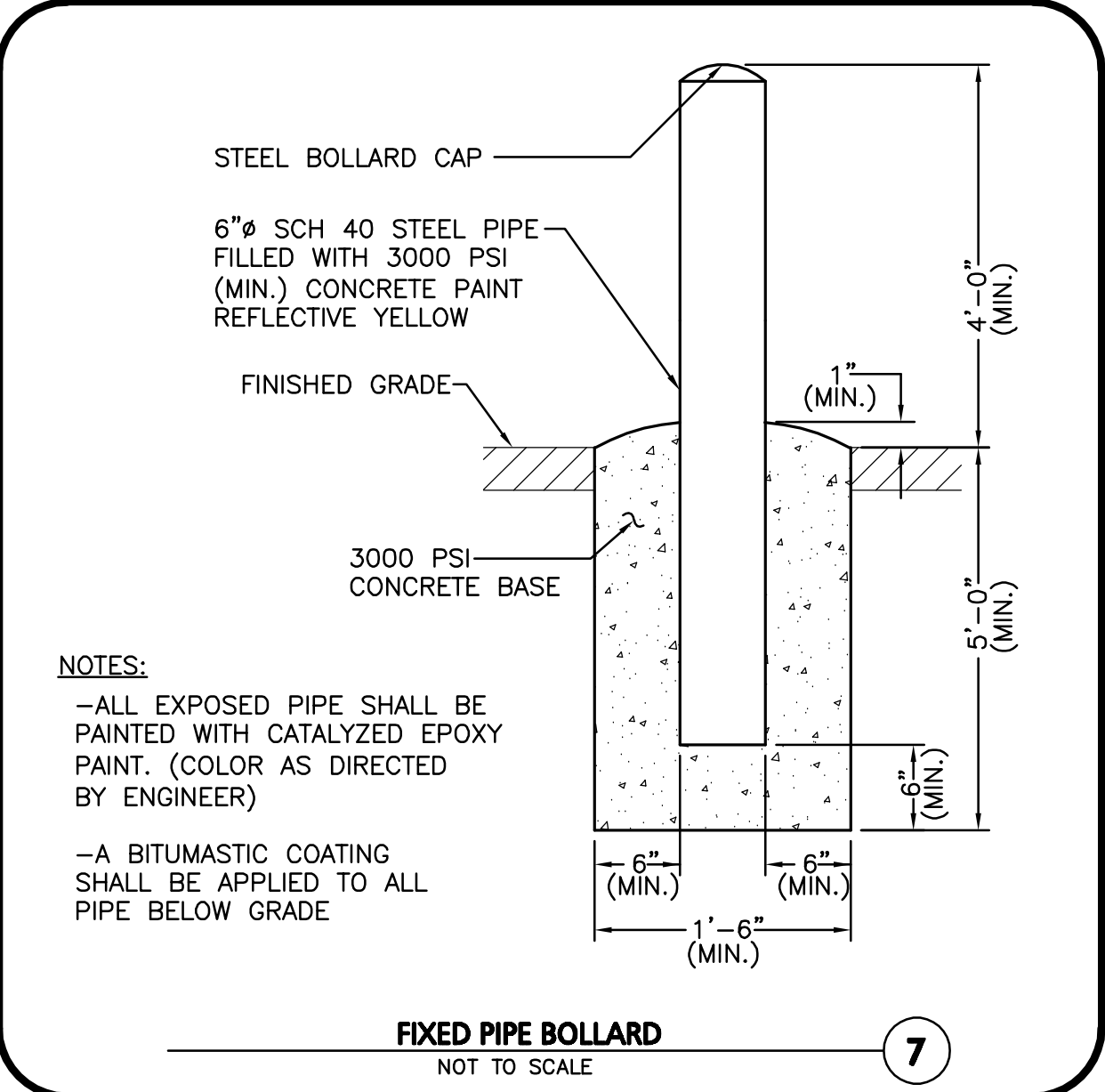
NOTES:

1. THE TOPSOIL AND/OR FOREST MAT AND SUBSOIL LAYERS SHALL BE CLEARED AND GRUBBED BENEATH ALL PAVEMENT AREAS TO EXPOSE THE NATURALLY-OCCURRING SOILS.
2. THE SUBGRADE SHOULD BE PROOFROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER USING AT LEAST 4 PASSES OF A 10-TON VIBRATORY ROLLER. AREAS OF THE SUBGRADE THAT 'WEAVE' OR 'ROLL' EXCESSIVELY SHOULD BE OVEREXCAVATED AND REPLACED WITH DRIER CLEAN GRANULAR FILL MATERIAL.
3. THE PAVEMENT SUBGRADE CONSISTING OF THE SPECIFIED CLEAN GRANULAR FILL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1557.

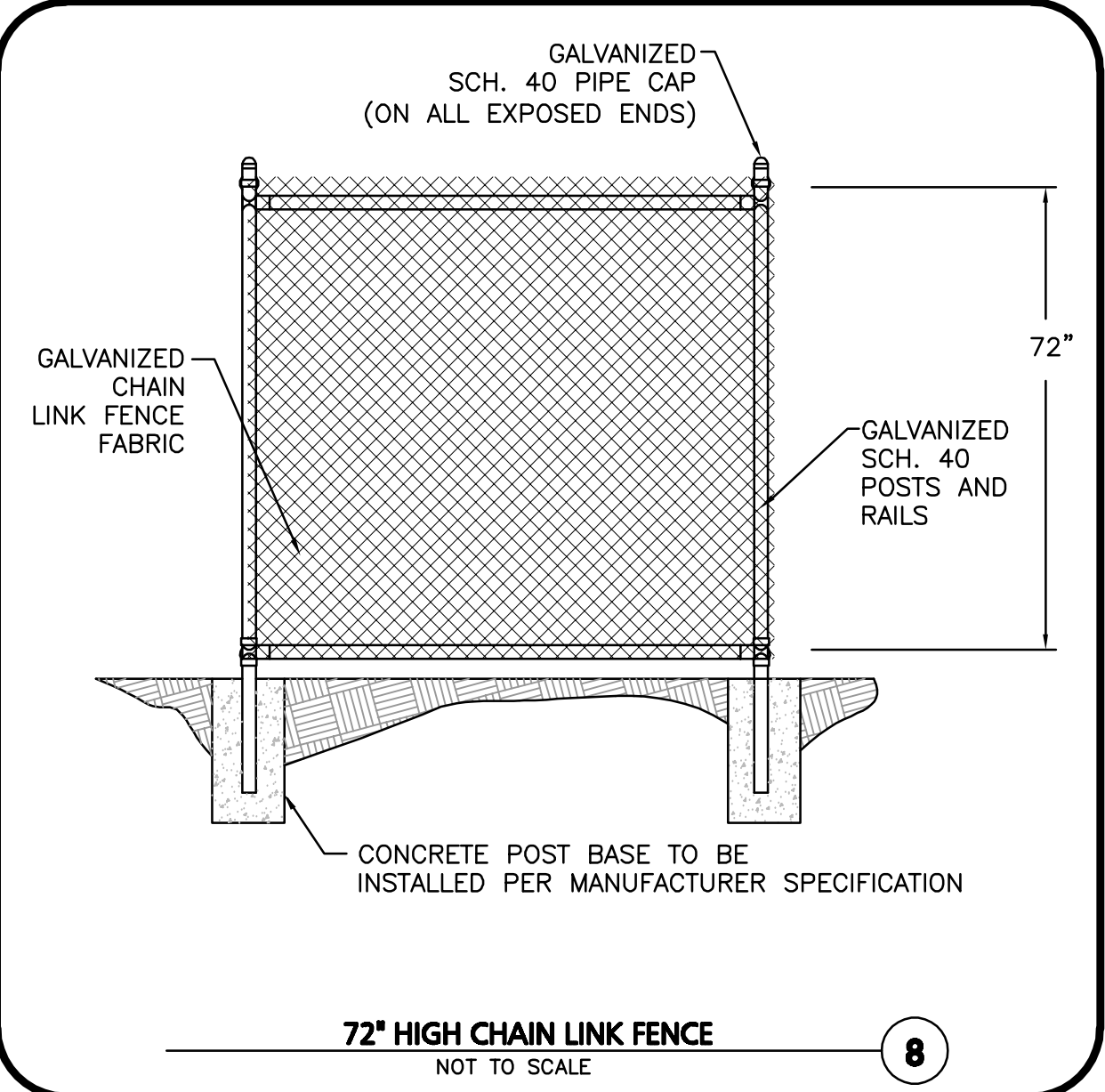
BITUMINOUS PAVEMENT SECTION
NOT TO SCALE



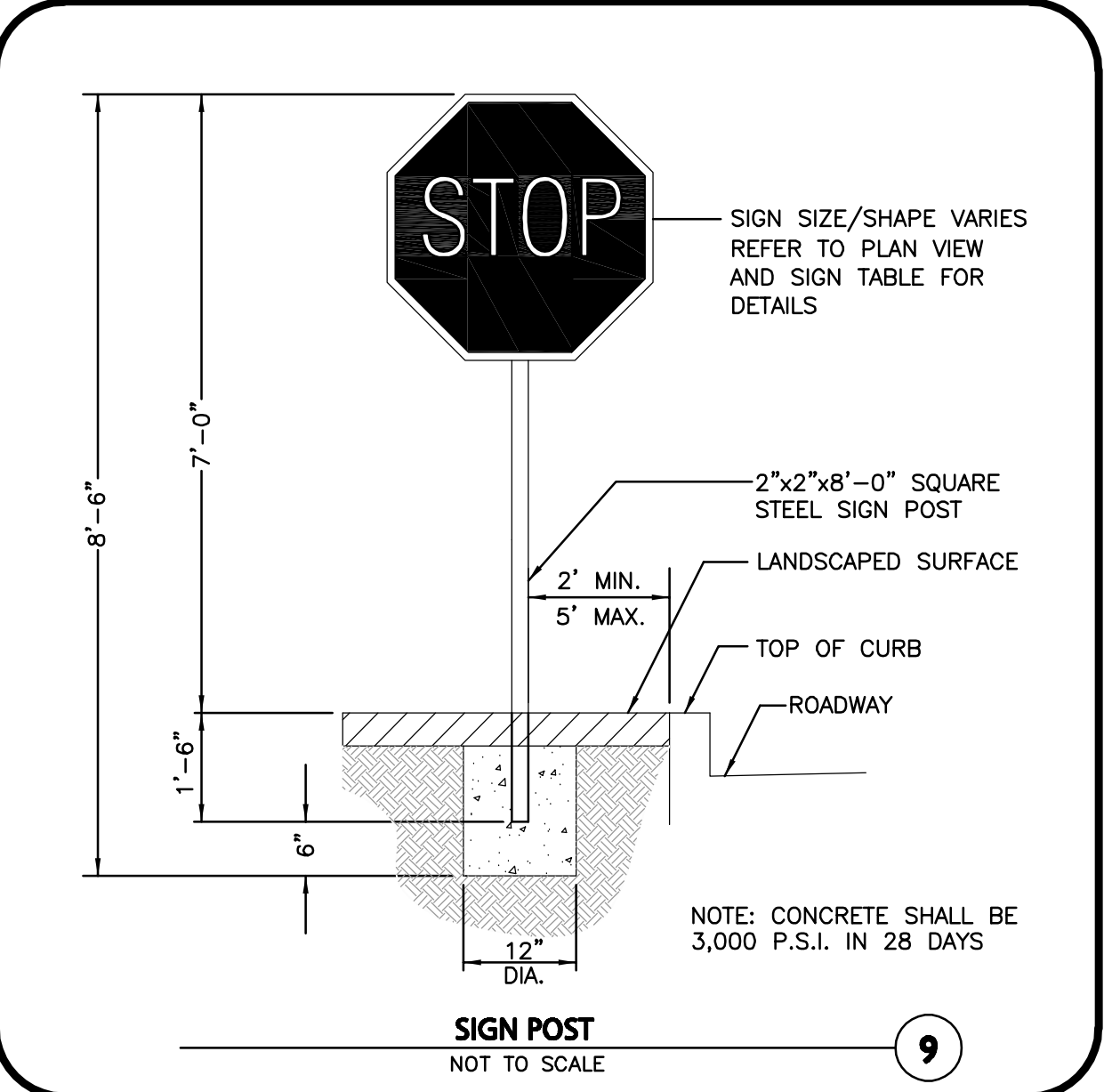
BITUMINOUS CURB
NOT TO SCALE



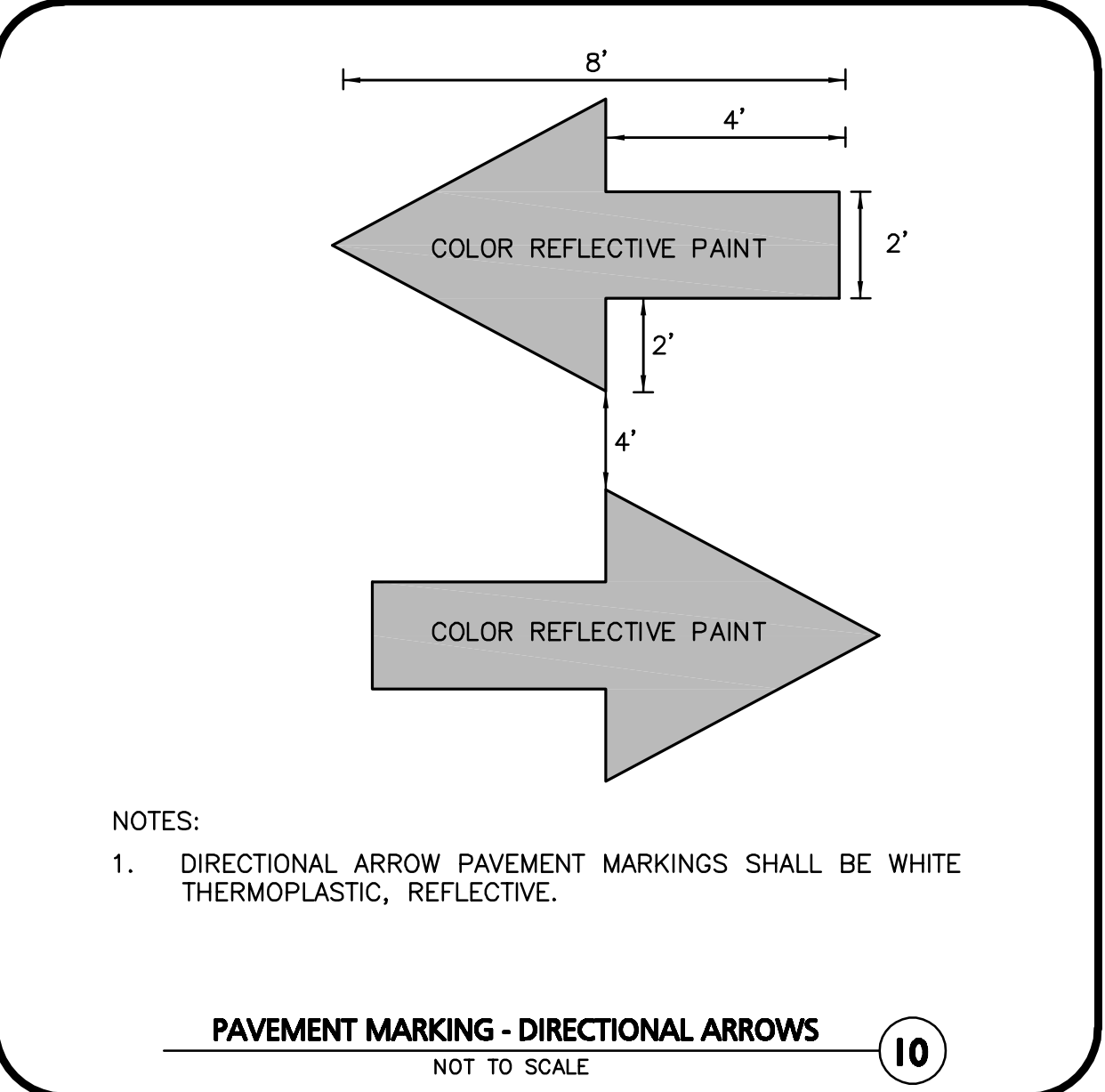
FIXED PIPE BOLLARD
NOT TO SCALE



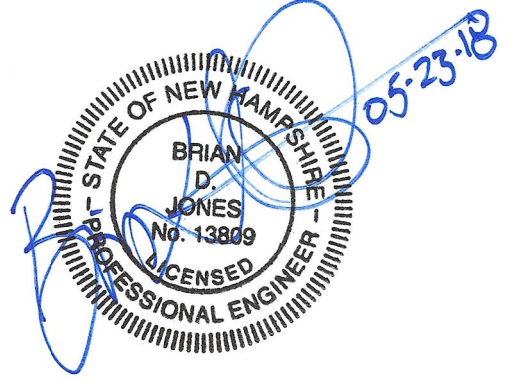
72" HIGH CHAIN LINK FENCE
NOT TO SCALE



SIGN POST
NOT TO SCALE



PAVEMENT MARKING - DIRECTIONAL ARROWS
NOT TO SCALE



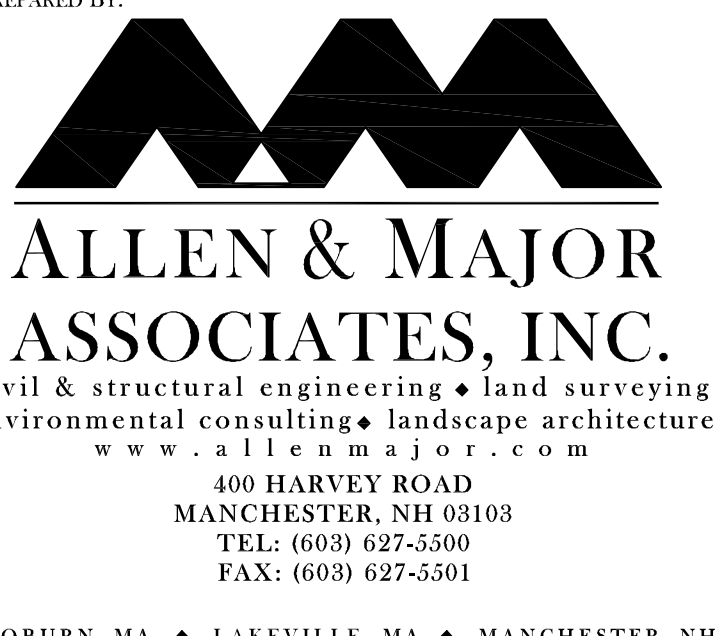
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	05-23-18	PER PEER REVIEW COMMENTS

APPLICANT:
201 HIGHLAND, LLC
679 FIRST NH TPK
NORTHWOOD, NH 03261

PROJECT:
SELF STORAGE FACILITY
15 CHESTER TURNPIKE
MAP 109, LOT 028
ALLENSTOWN, NH 03275

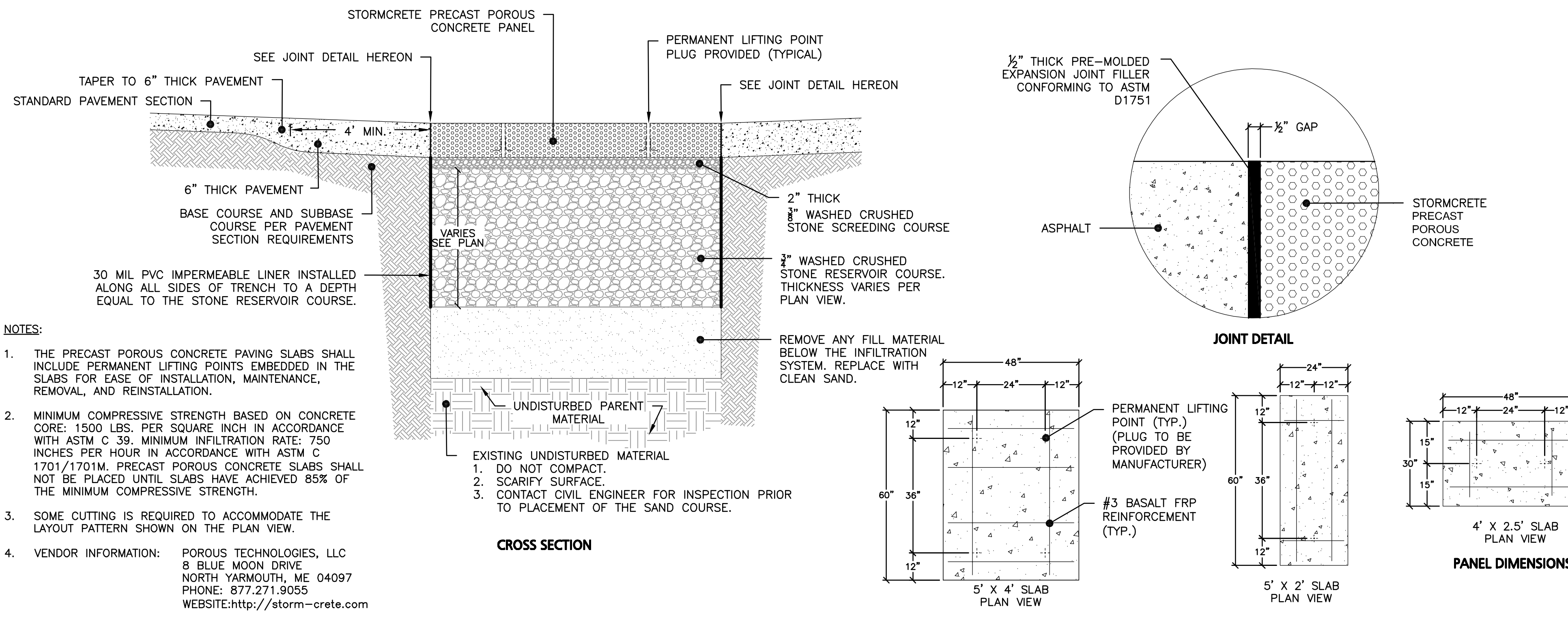
PROJECT NO.: 2047-04A **DATE:** 04-04-18
SCALE: AS NOTED **DWG. NAME:** C-2047-04
DRAFTED BY: BDJ **CHECKED BY:** BDJ



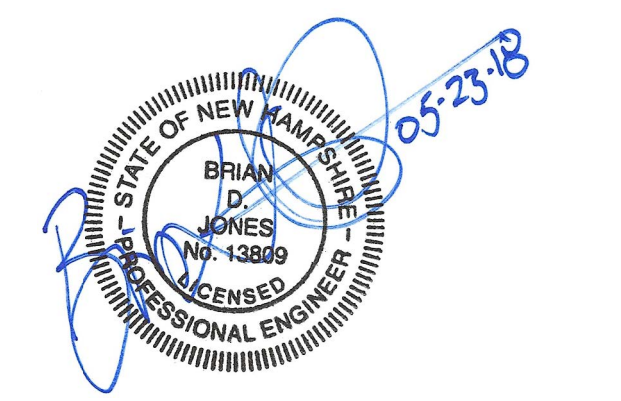
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DRAWING TITLE: DETAILS **SHEET No.:** C-6

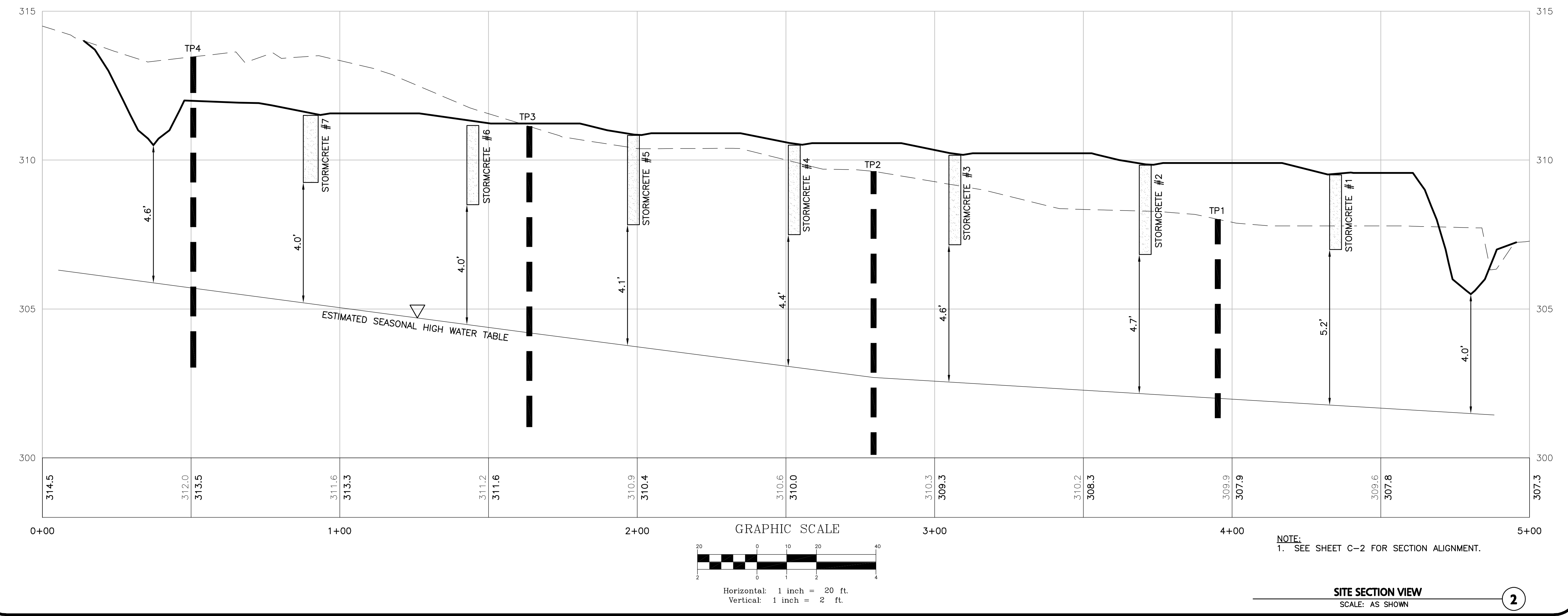


STORMCRETE PRECAST POROUS CONCRETE PANELS 1
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

SITE SECTION VIEW



REV	DATE	DESCRIPTION
2	05-23-18	PER PEER REVIEW COMMENTS
1	05-01-18	PER CNHRPC REVIEW COMMENTS

APPLICANT:
201 HIGHLAND, LLC
679 FIRST NH TPK
NORTHWOOD, NH 03261

PROJECT:
SELF STORAGE FACILITY
15 CHESTER TURNPIKE
MAP 109, LOT 028
ALLENSTOWN, NH 03275

PROJECT NO. 2047-04A	DATE: 04-04-18
SCALE: AS NOTED	DWG. NAME: C-2047-04
DRAFTED BY: BDJ	CHECKED BY: BDJ

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environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
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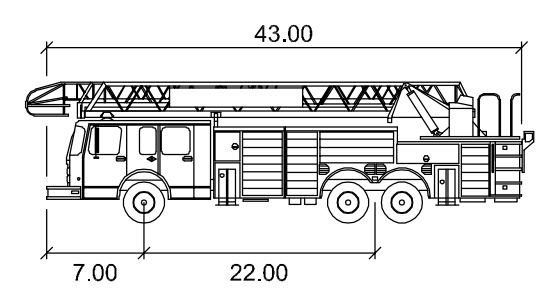
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DRAWING TITLE: DETAILS	SHEET No. C-7
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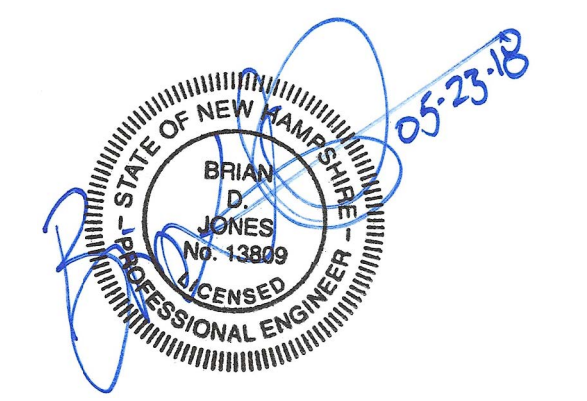
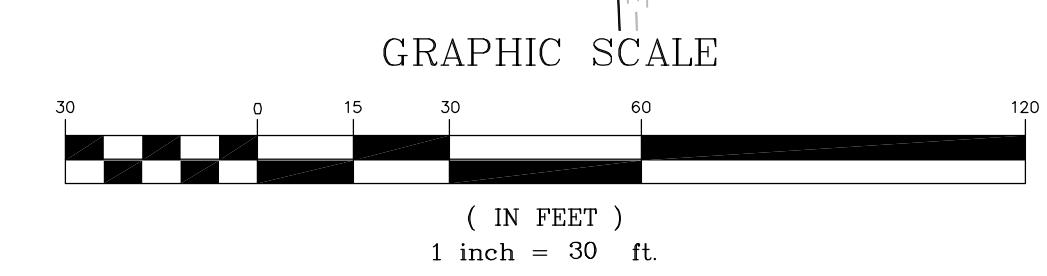
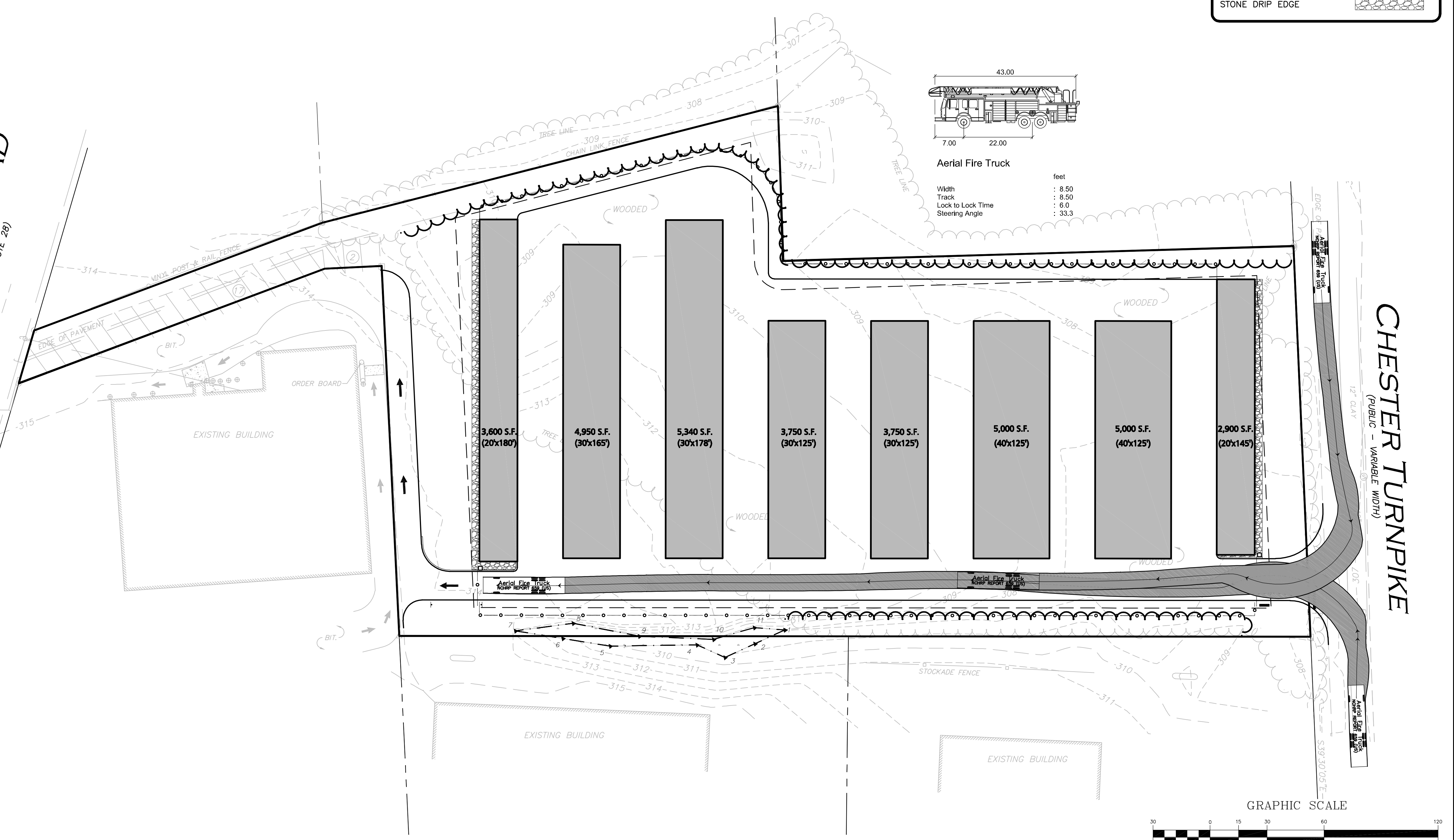
ALLENSTOWN ROAD
 (PUBLIC - VARIABLE WIDTH)
 (U.S. ROUTE 3 - N.H. ROUTE 28)

LEGEND:	
PROPERTY LINE	---
SIGN	+
BOLLARD	⊥
BUILDING	▭
BITUMINOUS CURB	▬
PARKING STRIPING	▨
ROADWAY STRIPING	▬
TRAFFIC ARROWS	→ ←
CONCRETE	▨
SNOW STORAGE	▨
SETBACK LINE	- - -
6' HIGH CHAIN LINK FENCE	⊖
TREE LINE	⌒
STONE DRIP EDGE	⌒



Aerial Fire Truck

	feet
Width	: 43.00
Track	: 7.00
Lock to Lock Time	: 22.00
Steering Angle	: 33.3



PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	05-23-18	PER PEER REVIEW COMMENTS
1	05-01-18	PER CNHRPC REVIEW COMMENTS

APPLICANT:
 201 HIGHLAND, LLC
 679 FIRST NH TPK
 NORTHWOOD, NH 03261

PROJECT:
SELF STORAGE FACILITY
 15 CHESTER TURNPIKE
 MAP 109, LOT 028
 ALLENSTOWN, NH 03275

PROJECT NO.	2047-04A	DATE:	04-04-18
SCALE:	1"=30'	DWG. NAME:	C-2047-04
DRAFTED BY:	BDJ	CHECKED BY:	BDJ

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DRAWING TITLE:	SHEET No.
TRUCK TURNING PLAN FIRE APPARATUS	C-8

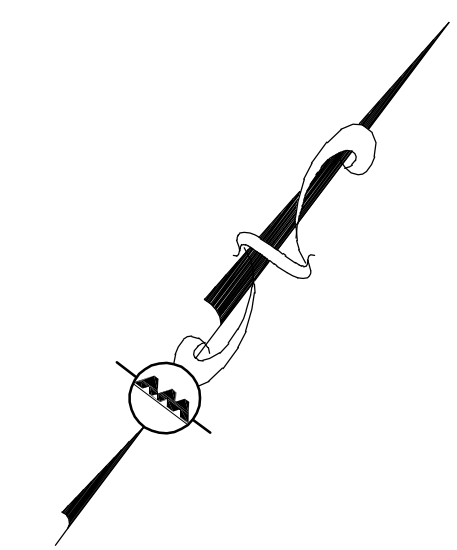
GENERAL NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
3. ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 18" MINIMUM DEPTH TO TOPSOIL. TWO (2) FEET OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN THREE/SHRUB PIT FOR DEPTH OF ROOT BALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND/OR PLACEMENT. GENERAL CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 18" MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO THE OWNER. SEE TOPSOIL DETAIL.

PLANTING SCHEDULE-TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

DECIDUOUS TREES						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
* QC	7	QUERCUS COCCINIA	SCARLET OAK	2"-2.5" CAL.	AS SHOWN	B&B
EVERGREEN TREES						
* AF	11	ABIES FRASERI	FRASER FIR	7-8' HT	AS SHOWN	B&B
FLOWERING TREES						
* CC	12	CERCIS CANADENSIS	EASTERN REDBUD	2.5-3" CAL.	AS SHOWN	B&B
SHRUBS						
* CA	24	CORNUS AMOMUM	SILKY DOGWOOD	#5	AS SHOWN	POT
* MP	28	MYRICA PENNSYLVANICA	BAYBERRY	2.5'-3' HT.	AS SHOWN	B&B
* SD	12	SALIX DISCOLOR	PUSSY WILLOW	#5	AS SHOWN	POT
WETLAND PLUGS						
* AI	250	ASCLEPIAS INCARNATA	SWAMP MILKWEED	2" PLUG	12" O.C.	PLUG

* - DENOTES NATIVE SPECIES
 ** - DENOTES IMPROVED NATIVE SPECIES



LEGEND:

MULCHED PLANT BED

SEED MIX

SHRUBS

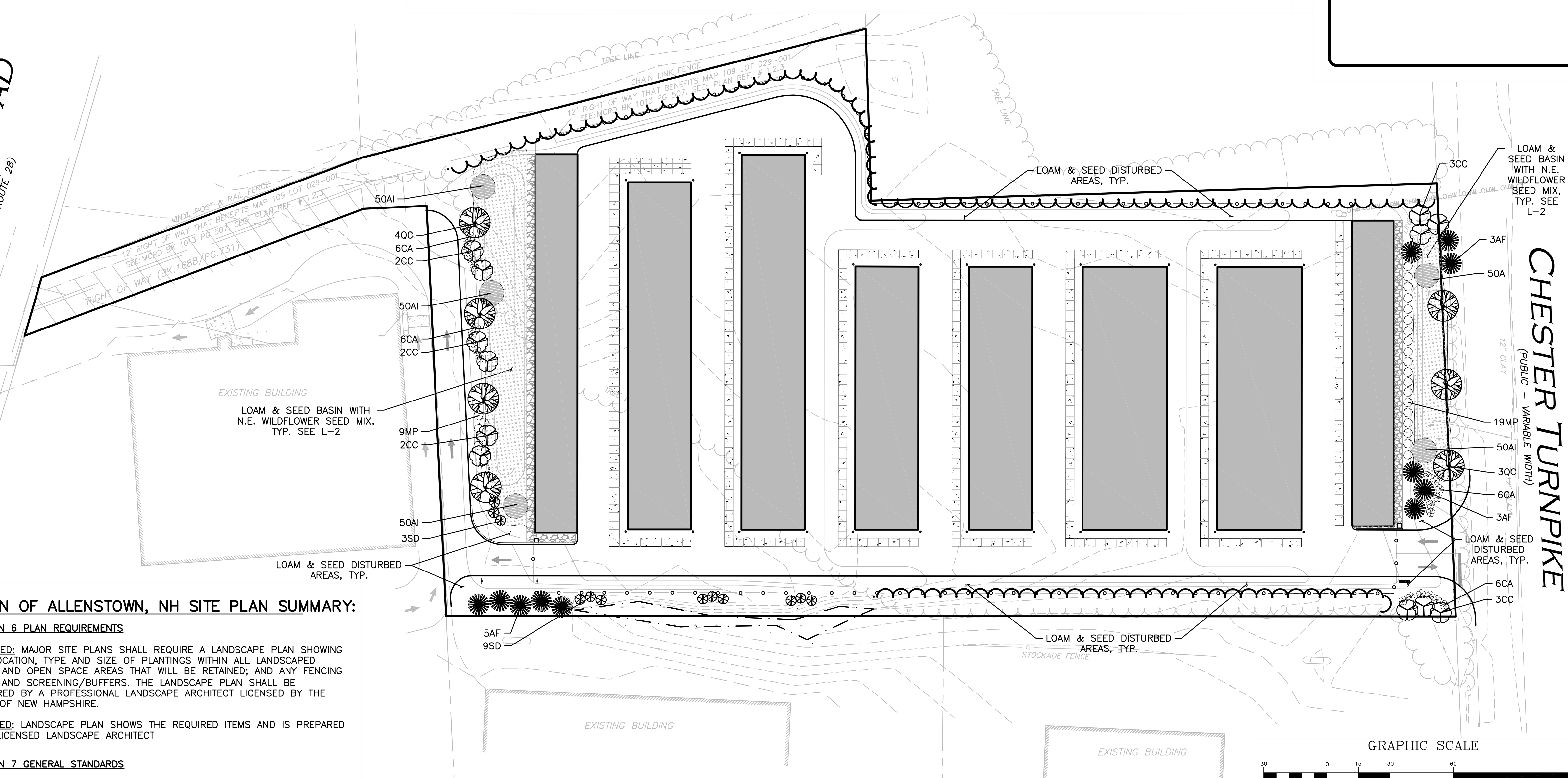
DECIDUOUS TREES

EVERGREEN/FLOWERING TREES



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

ALLENSTOWN ROAD
 (PUBLIC - VARIABLE WIDTH)
 (U.S. ROUTE 3 - N.H. ROUTE 28)



CHESTER TURNPIKE
 (PUBLIC - VARIABLE WIDTH)

TOWN OF ALLENSTOWN, NH SITE PLAN SUMMARY:

SECTION 6 PLAN REQUIREMENTS

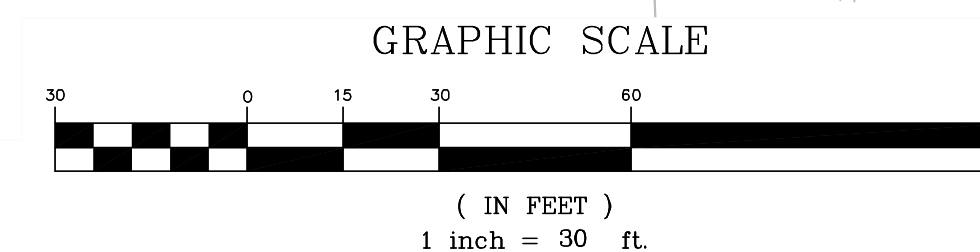
REQUIRED: MAJOR SITE PLANS SHALL REQUIRE A LANDSCAPE PLAN SHOWING THE LOCATION, TYPE AND SIZE OF PLANTINGS WITHIN ALL LANDSCAPED AREAS AND OPEN SPACE AREAS THAT WILL BE RETAINED; AND ANY FENCING WALLS AND SCREENING/BUFFERS. THE LANDSCAPE PLAN SHALL BE PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT LICENSED BY THE STATE OF NEW HAMPSHIRE.

PROVIDED: LANDSCAPE PLAN SHOWS THE REQUIRED ITEMS AND IS PREPARED BY A LICENSED LANDSCAPE ARCHITECT

SECTION 7 GENERAL STANDARDS

REQUIRED: A MINIMUM OF 4 INCHES OF TOPSOIL IS TO BE PLACED ON THE DISTURBED AREA. THE SITE SHALL BE ADEQUATELY LANDSCAPED.

PROVIDED: 6" OF TOPSOIL AND ADEQUATE LANDSCAPING.



1	05-01-18	PER CNHRPC REVIEW COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:
 201 HIGHLAND, LLC
 679 FIRST NH TPK
 NORTHWOOD, NH 03261

PROJECT:
 SELF STORAGE FACILITY
 15 CHESTER TURNPIKE
 MAP 109, LOT 028
 ALLENSTOWN, NH 03275

PROJECT NO. 2047-04A DATE: 04-04-18
 SCALE: 1"=30' DWG. NAME: C-2047-04
 DRAFTED BY: BCD/BDJ CHECKED BY: BDJ

PREPARED BY:

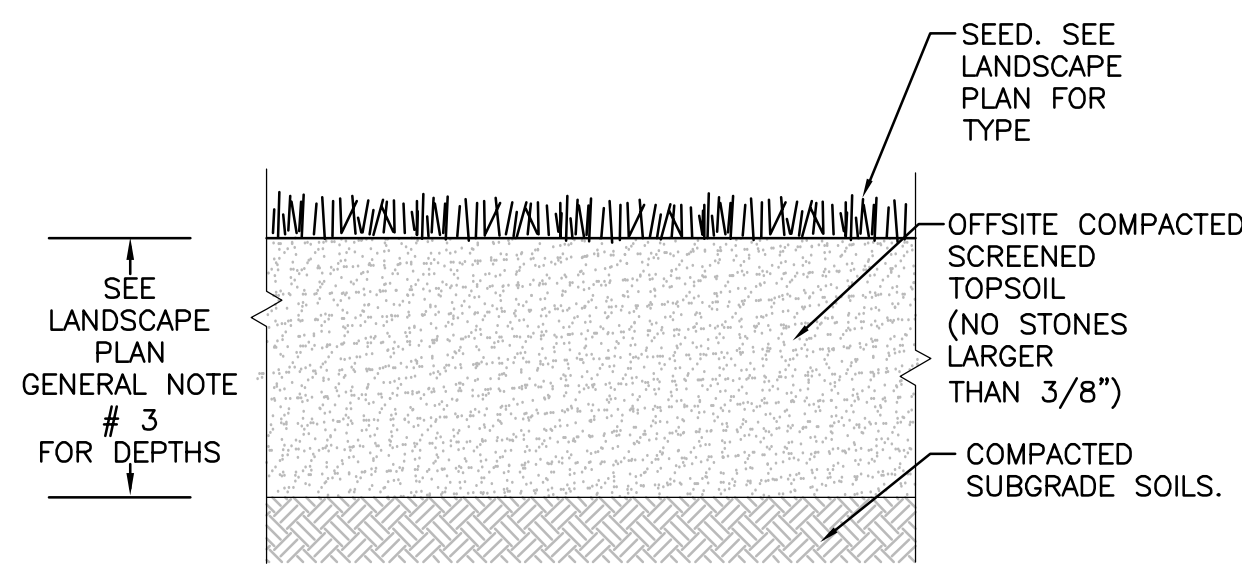
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DRAWING TITLE: LANDSCAPE PLAN	SHEET No. L-1
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TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	10-35
20 um	LESS THAN 5%

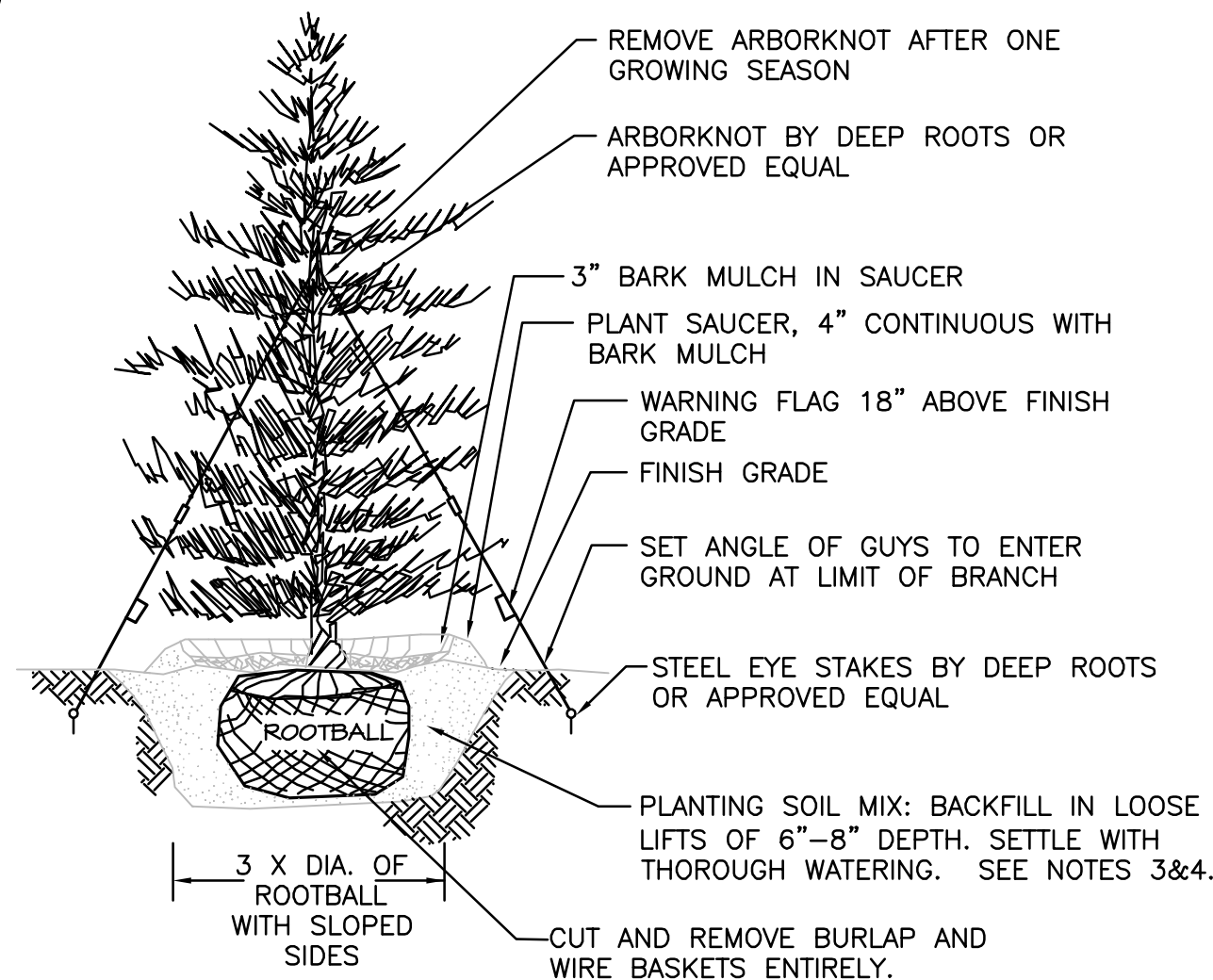
NOTES:

- TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
- ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEIOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
- THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
- TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS

NOT TO SCALE

1



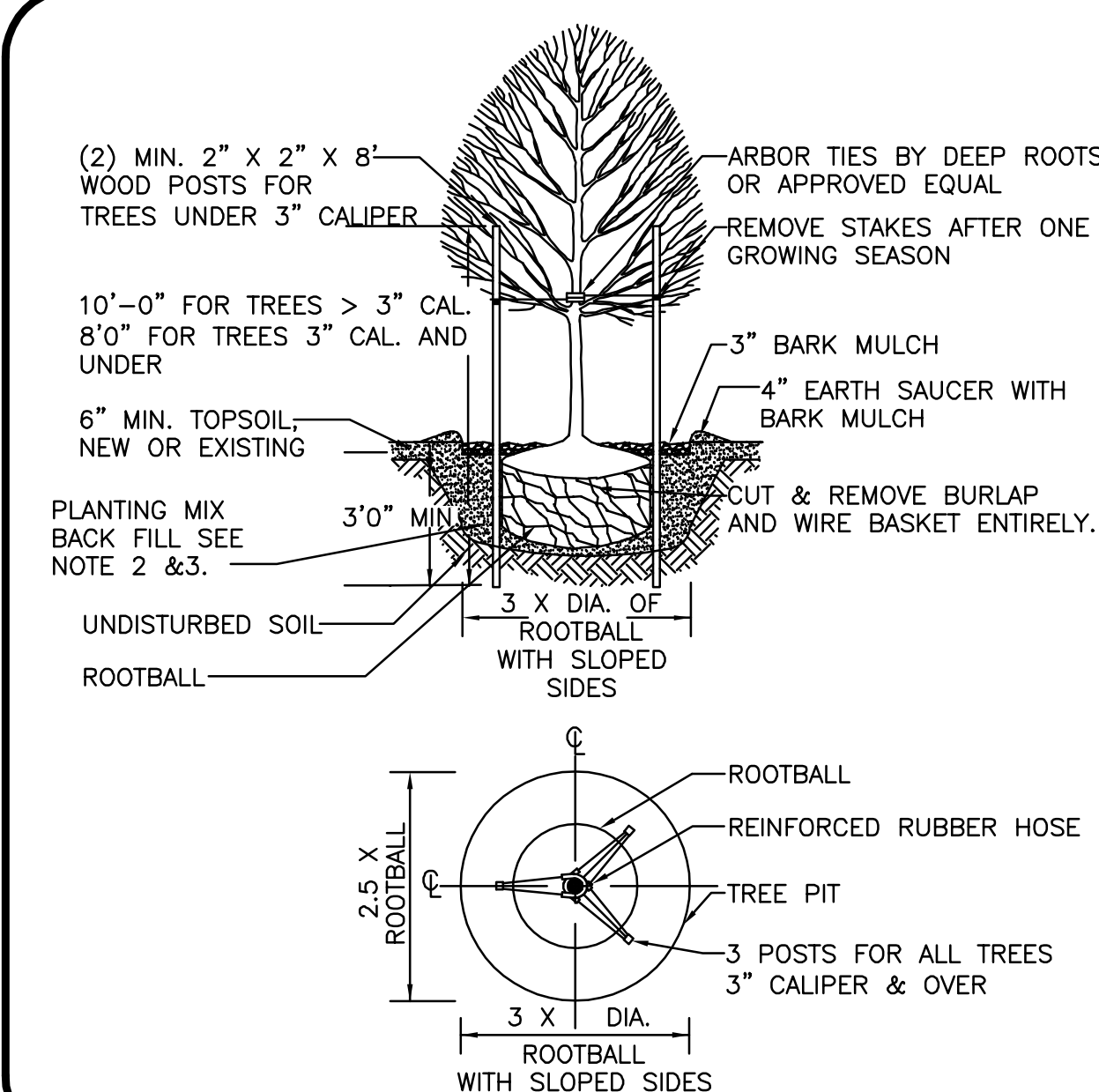
EVERGREEN TREE DETAIL

NOT TO SCALE

3

NOTES:

- TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
- INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
- ATTACH GUYS AT 2/3 HEIGHT OF TREE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.



DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

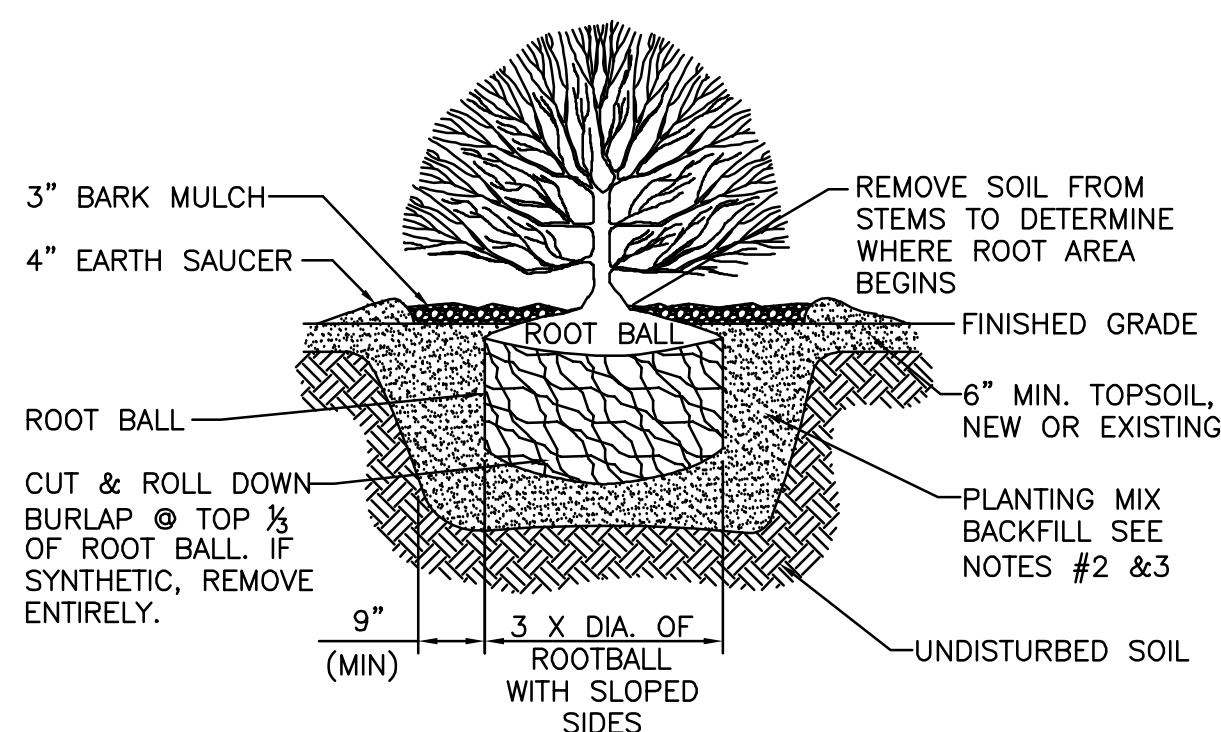
4

NOTES:

- ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

NOTES:

- ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
- SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.



SHRUB PLANTING DETAIL

NOT TO SCALE

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LOAM AND STANDARD SEEDING NOTES:

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREEPING RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

- SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
- SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.
- COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
- LAWN AREAS TO BE SEED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF ALLENSTOWN, NH.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

SEED MIXES:

NEW ENGLAND WETLAND PLANTS
 820 WEST STREET, AMHERST, MA 01002
 PHONE: 413-548-8000 FAX 413-549-4000
 EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM
NEW ENGLAND WILDFLOWER MIX

BOTANICAL NAME	COMMON NAME	WETLAND INDICATOR
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
FESTUCA RUBRA	RED FESCUE	FACU
SORGHASTRUM NUTANS	INDIAN GRASS	UPL
CHAMAECRISTA FASCICULATA	PARTIRIDGE PEA	FACU
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	FACW
ELYMUS CANADENSIS	CANADA WILD RYE	FACU+
VERBENA HASTATA	BLUE VERVAIN	FACW
ASOLEPIAS TUBEROSA	BUTTERFLY MILKWEED	NI
SISYRINCHILUM ANGUSTIFOLIUM	NARROWLEAFED BLUE EYED GRASS	FACW
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	FACW
RUDBECKIA HIRTA	BLACK EYED SUSAN	FACU
LIATRIS SPICATA	SPIKED GAYFEATHER/MARSH BLAZING STAR	FAC+
ASTER LATERIFLORUS	STARVED/CALICO ASTER	FACW
SOLIDAGO JUNCEA	EARLY GOLDENROD	FACU
EUPATORIUM FISTULOSUM	HOLLOW-STEM JOE PYE WEED	FACW

THE NEW ENGLAND WILDFLOWER MIX PROVIDES A SELECTION OF NATIVE WILDFLOWERS AND GRASSES TO INSURE THAT A VARIETY OF SPECIES WILL SURVIVE IN CONDITIONS FROM DRY TO MOIST. IT IS AN APPROPRIATE SEED MIX FOR ROADSIDES, COMMERCIAL LANDSCAPING, PARKS, GOLF COURSES, INDUSTRIAL SITES AND AREAS UNDERGOING ECOLOGICAL RESTORATION. THE MIX CAN BE APPLIED BY HYDRO-SEEDING (NO TACKIFIERS), BY MECHANICAL SPREADER, OR BY HAND. LIGHTLY RAKE OR ROLL AFTER SOWING TO INCREASE SEED TO SOIL CONTACT. APPLY ON A CLEAN, WEED FREE SEED BED. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE FALL DORMANT SEEDING.

APPLICATION RATE: 23 LBS./ACRE | 1900 SQ FT/LB
 PRICE:\$75.00/BULK POUND



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

REV	DATE	DESCRIPTION

APPLICANT:

201 HIGHLAND, LLC
 679 FIRST NH TPK
 NORTHWOOD, NH 03261

PROJECT:

SELF STORAGE FACILITY
 15 CHESTER TURNPIKE
 MAP 109, LOT 028
 ALLENSTOWN, NH 03275

PROJECT NO. 2047-04A DATE: 04-04-18

SCALE: 1"=30' DWG. NAME: C-2047-04

DRAFTED BY: BCD/BDJ CHECKED BY: BDJ

PREPARED BY:

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 environmental consulting • landscape architecture
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DRAWING TITLE: LANDSCAPE NOTES SHEET No. L-2